

Wolfeboro Board of Selectmen  
Public Meeting Minutes-APPROVED  
In-Person at the Great Hall, 9 Union St. Wolfeboro  
August 18, 2021

**Board Members present:** Chairman Linda Murray, Brad Harriman, Dave Senecal, Linda Murray, Luke Freudenberg, and Brian Deshaies

**Staff present:** Town Manager Jim Pineo, Director of Public Works Dave Ford, Finance Director Kathryn Carpentier, Director of Parks and Rec Christine Collins, and Recording Secretary Christine Doherty

Chairman Murray opened the meeting at 6:30 PM.

**Non-Public Session RSA 91-A:3, II a**

Mr. Pineo stated a non-public session is needed pending litigation.

**1. Consideration of Minutes**

i. July 21, 2021

**It was moved by Luke Freudenberg and seconded by Dave Senecal to table the minutes of July 21, 2021. Roll call vote Brad Harriman—yes, Linda Murray—yes, Luke Freudenberg—yes, Dave Senecal—yes, and Brian Deshaies—yes. Being none opposed, the motion passed.**

ii. July 27, 2021 Special Meeting – Beach Forum

**It was moved by Brad Harriman and seconded by Dave Senecal to accept the minutes of July 27, 2021. Roll call vote Brad Harriman—yes, Linda Murray—yes, Luke Freudenberg—yes, Dave Senecal—yes, and Brian Deshaies—yes. Being none opposed, the motion passed.**

iii. August 4, 2021

Ms. Murray: I typed up some corrections to share with the board. The corrections will be placed into the minutes and become the official minutes. Does anyone have anything to add?  
Nothing further to add.

**It was moved by Luke Freudenberg and seconded by Dave Senecal to accept the minutes of August 4, 2021 as amended. Roll call vote Brad Harriman—yes, Linda Murray—yes, Luke Freudenberg—yes, Dave Senecal—yes, and Brian Deshaies—yes. Being none opposed, the motion passed.**

**2. Public Hearings**

*Unexpected Fund under \$10,000*

- i. The Wolfeboro Board of Selectmen will hold a Public Hearing on Wednesday, August 18, 2021 at approximately 6:30 PM in the Great Hall of the Wolfeboro Town Hall for the acceptance of unanticipated funds for an amount awarded that is less than \$5,000 in accordance with RSA 31:95-b, relative to donation of a bench from Carolyn Cole and Jennifer Cole Ziomek as a gift to their parents Peter and Judy Cole valued at \$480.

Caroline Cole: We would like to donate a marble bench at Abenaki in honor of my parents who have spent a lifetime enjoying Abenaki. I've spoken to Kathy Rankin about the placement of it.

Chairman Murray opened up for public hearing

No comments

Public hearing closed

**It was moved by Dave Senecal and seconded by Luke Freudenberg for the acceptance of unanticipated funds for an amount awarded that is less than \$5,000 in accordance with RSA 31:95-b, relative to donation of a bench from Carolyn Cole and Jennifer Cole Ziomek as a gift to their parents Peter and Judy Cole valued at \$480 to be placed at Abenaki. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

- ii. The Wolfeboro Board of Selectmen will hold a Public Hearing on Wednesday, August 18, 2021 at their meeting, which starts at 6:30 PM in the Great Hall Town Hall, 84 South Main Street, Wolfeboro, New Hampshire for the acceptance of unanticipated funds in excess of \$10,000 in accordance with RSA 31:95-b III (a), relative to unanticipated grant funds in the estimated amount of \$671,000 over the next two years from the American Rescue Plan Act for 2021 (grant funds) and the Board of Selectmen will determine at same meeting and subsequent meetings the eligible uses of the funds in accordance with the American Rescue Plan Act 2021.

Mr. Pineo: As part of the American Rescue Plan Act we are eligible and have submitted an application. We are due to receive in late summer or early fall monies in the amount of \$335,00 and will receive another in the spring. The funds can be used toward public health, negative economic impact, premium pay, infrastructure to include water, sewer, revenue replacement and administrative expenses. I think we should appoint a liaison to work with Dave Ford, Kathy Carpentier and myself to prioritize projects and then bring them back to the board.

Dave Ford: We have the highest sewer rates in the state. This will help people with our user rates. We are trying to, for our seasonal water customers, make the sewer and water systems safer and in better locations than they are. We also want to have it so water and sewer is year-round at the Boat Museum and Albee Beach bath house. This money will help us get to these projects sooner. Other projects are pump station projects, control panels, generators. Town hall foundation drainage is another project. Recently the drainage pipes at Town hall collapsed and flooded the basement.

Chairman Murray opened up the public hearing

No other comments

Closed public hearing

Ms. Murray: I think Brad Harriman should be appointed as liaison.

**It was moved by Luke Freudenberg seconded by Brian Deshaies for the acceptance of unanticipated funds in excess of \$10,000 in accordance with RSA 31:95-b III (a), relative to unanticipated grant funds in the estimated amount of \$671,000 over the next two years from the American Rescue Plan Act for 2021 (grant funds) and the Board of Selectmen will determine at same meeting and subsequent meetings the eligible uses of the funds in accordance with the American Rescue Plan Act 2021 and to appoint Brad Harriman as the liaison to the Board. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

*Temporary Event Permit(s)*

- i. The Wolfeboro Board of Selectmen to consider a Temporary Event Permit for Kingswood Regional High School Athletics to host the NHIAA High School Cross Country Race on September 18, 2021 from 2:00 PM to 6:00 PM at 390 Pine Hill Road (Abenaki). Permit # 2021-43

Chairman Murray opened up the public hearing

No other comments

Closed public hearing

Ms. Murray: Have we received the insurance rider yet?

Mr. Pineo: Not as of yet. There is some concern about some drainage issues and some work that will be happening at that location and if it will be completed.

Christine Collins: Amy did let them know that we are still dealing with that drainage issue. We are waiting to hear from them if they are still interested.

Mr. Pineo: I don't think it's a good place to hold an event with kids

**A motion was made by Linda Murray to deny this temporary event, Permit #2021-43 and it was seconded by Luke Freudenberg, due to the construction taking place at Abenaki and erosion issues the site has. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

- iii. The Wolfeboro Board of Selectmen to consider a Temporary Event Permit for Kingswood High School Athletics to host a High School Cross Country race on October 14, 2021 from 2:00 PM to 6:00 PM at 390 Pine Hill Road (Abenaki). Permit #2021-44

Chairman Murray opened up the public hearing

No other comments

Closed public hearing

Mr. Deshaies: My son races Cross Country and they always had the races at the high school. I would like to know why they are changing their location.

Mr. Pineo: I can't tell you when the electrical contractor will be here but there will be a bunch of heavy equipment and workmen in the area which may not be safe for the kids. If they want to come back next year once the work is done that would be fine.

Mr. Deshaies: I think it should be tabled until someone from the high school comes here and explains to us why they aren't doing it at the school.

Mr. Freudenberg: They have had 2 opportunities to come in front of the board to explain it and they haven't been here.

**Brad Harriman made a motion to deny this temporary event, Permit #2021-44 and it was seconded by Dave Senecal, due to the construction taking place at Abenaki and erosion issues the site has. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - abstains. With one abstention, the motion passed.**

- iv. The Wolfeboro Board of Selectmen to consider a Temporary Event Permit for the Kingswood Youth Center to host the 12th Annual Chili Challenge Fundraiser on September 25th, 2021 from 10:00 AM to 3:00 PM at Foss Field (Parks and Recreation's Fall Festival). Permit #2021-46

Zachary Porter with KYC: The fundraiser is something we have done at Durgin Stables for 10 years. Last year we had to change it to a virtual event. We are excited to bring this back into our community in person, collaborating with Parks and Rec to host this during the Fall Festival. Other than the location change, everything is as it was in the past. We will be promoting our many generous local sponsors. This is our biggest fundraiser of the year.

Chairman Murray opened up the public hearing

No other comments

Closed public hearing

**It was moved by Brian Deshaies seconded by Luke Freudenberg to accept a Temporary Event Permit for the Kingswood Youth Center to host the 12th Annual Chili Challenge Fundraiser on September 25th, 2021 from 10:00 AM to 3:00 PM at Foss Field (Parks and Recreation's Fall Festival). Permit #2021-46. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

- v. AMENDMENT to add Basketball courts-The NH Lakes Region PickleBall Club to host their Annual PickleBall Tournament September 10-12, 2021 from 6:00 AM to 6:00 PM at the Foss Field courts, Lehner Street. Permit #2021-1.



Joe Santoro: Since 2015 the tournament has grown in popularity. We actually had to stop registration early because we filled up so fast. In speaking with Christine from Parks and Rec we looked at the courts, we could set up 6 temporary courts so all players could be done by 5-5:30 in the evening. This is also a great opportunity for local businesses.

Chairman Murray opened up the public hearing

No other comments

Closed public hearing

Mr. Harriman: We have two basketball courts at Foss correct? And they would both be taken over for those three days. Do you see any issues with that at all Christine from the Parks and Rec side?

Ms. Collins: We don't have any programs running at that time but it would be closed to the public.

Mr. Deshaies: Could we leave one court open?

Mr. Santoro: We need the entire area.

Ms. Collins: We do post way in advance so the public is aware.

Ms. Murray: I think we should support it as it is a popular and growing sport.

**It was moved by Brad Harriman seconded by Dave Senecal to authorize an AMENDMENT to add Basketball courts—The NH Lakes Region PickleBall Club to host their Annual PickleBall Tournament September 10-12, 2021 from 6:00 AM to 6:00 PM at the Foss Field courts, Lehner Street. Permit #2021-1. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies – yes. Being none opposed, the motion passed.**

### **3. Public Input** (Limited to 3 Minutes per resident, not to exceed 15 minutes in total)

Josephine Amatucci: I am here to address my grievances with the town because you have decided not to do an internal investigation on Dean Rondeau. This is not a civil matter; this is a criminal matter. I will not address Mr. Rondeau as Chief because he has committed two criminal acts against me. He has accused me of driving irradicably and called the DMV to ask them to revoke my driver's license. I had proof I was not even in the state when this happened and it was dropped. The he accused me of causing bodily injury to Mr. Maloney at the dump. Maloney was standing in the doorway at the office and I pushed him down a few steps. The Belknap Sheriff's department and Dean Rondeau filed a complaint against me. What he did not know is that Maloney told the Belknap sheriff I pushed him down the two steps but there was no injury. At the trial, Maloney's supervisor stated to the judge that Maloney was never standing in the doorway and there was never any assault with bodily injury. And yet, in a conspiracy, Rondeau and the Belknap Sheriff filed a complaint in the court for my prosecution. Maloney's employment was terminated with the town. He violated my constitutional rights.

John Thurston, resident and owner of three properties on Edgewood Terrace: I'm here to ask the Board of Selectmen to honor the majority (7 of the 11 residents) to deny Mr. Miles' request to petition to make Edgewood Terrace a public road. The item 6G on the Agenda does not have 50% majority to make this a public road. Ongoing legal issues with residents could be affected. I ask you to consider this request to remove letter 6G based on these facts before you without prejudice. (see attached)

#### **4. Bulk Vote**

##### **A. Weekly Manifests**

- i. August 6, 2021                      \$648,970.96
- ii. August 13, 2021                    \$2,914,622.52 (includes GWSD payment)

##### **B. NH Department of Revenue for PA-16**

*Application for reimbursement to towns and cities in which federal and state forest land is situated.*

- i. Governor Wentworth Historic Site
- ii. Wentworth State Park

##### **C. Property Tax Abatement/Refund**

- i. 280 Sewall Rd Tax Map 241 Lot 24

##### **D. Raffle Permits**

- i. End 68 Hours of Hunger – Labor Day Raffle
- ii. Lake Winnepesaukee Association – Fundraising Raffle

**It was moved by Luke Freudenberg and seconded by Brian Deshaies to approve the Bulk Vote items A through D. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

#### **5. Board/Committee Appointments**

N/A

#### **6. New Business**

##### **A. Approval: 200 Women Exhibition – use Railroad Station space**

Nancy Hughes via Zoom: This is an international exhibit that opened in Europe. Some of the women in the exhibit are famous and some are not. They were filmed while asking the following 5 questions:

1. What really matters to you
2. What brings you happiness?
3. What do you regard as the lowest depth of misery?
4. What would you change if you could?
5. What single word do you most identify?

Sharing this exhibition strengthens the bond Brewster has with the town and may also help to serve the town's history and culture resources. This exhibit helps people to learn more about others and engage in meaningful discussions.

Craig Gemmell from Brewster shows a piece from the collection that is Diane Foley

Mr. Deshaies: You will have the event open to the public at Brewster?

Ms. Hughes: Yes, that is our expectation. A mask will be required on campus

Mr. Gemmell: We are taking it slowly right now as far as opening up the campus.

Mr. Deshaies: In the area you put them up in town, is there going to be some protocol in place for the safety of the general public?

Ms. Hughes: We would work with the town and follow their protocol.

Ms. Murray: Up in the great hall we will need to set them up on easels. At the train station, will it be in the vacant space where the nursery school used to be?

Ms. Hughes: Yes and we will be using easels there as well.

**Linda Murray made a motion to approve allowing the 200 Women Exhibit be placed in the train station and in the Great Hall from October 13 until November 13, 2021 and it was seconded by Dave Senecal. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

#### **B. Discussion: July Actual vs Budget – Finance Dept**

Ms. Carpentier: The General Fund Operating is at 63%. No big areas of concern. General Fund Revenue is at 51% with some year-end anticipated entries that still need to be booked.

#### **C. Approval: Dockside Parking Lot Capital Reserve Funds request to spend**

Mr. Pineo: The subcommittee wanted us to have clearly defined boundaries so we know exactly what is town property and what is private property. The cost is \$9,500 to Civil Works New England.

**Dave Senecal made a motion to approve the spending of \$9,500 for the dockside parking lot survey to be done and it was seconded by Luke Freudenberg. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

#### **D. Discussion: Clark Rd Street signs follow up**

Ms. Murray: The board wanted an opportunity to go down and look at the signs. We need to decide 1. Do we want the signs to go up that far or 2. Since there have been no closures of Brewster beach parking lot do we need the signs at all?

Mr. Pineo: Bob Tuffer sent me an email that he observed an event this weekend, parking was good and he feels there is no need for that signage.

Ms. Collins: I agree as well. We haven't had any issues this season.

Mr. Senecal: There are 3 or 4 signs going into Genisis and those should be removed as well.

Ms. Collins: Also, I just received word the last day Brewster beach will be open is august 29<sup>th</sup>.  
Board is in consensus to remove the signs.

**E. Discussion: Preliminary discussion on Railroad Ave layout and upgrades  
(see attached)**

Dave Ford: We appropriated about \$100,00 for the layout and extension. We do not own a small section of land but we are working with the Bean Family Trust to use it. I have met with the condo association and project manager for the railroad station upgrade and Barry with electrical. Where the existing parking and condo parking is now, we would like to narrow it down and put in a seasonal speedbump to make it safe. We are going to come back to the Board with a Right of Way plan, which is only 20ft, but because of the condo association and their parking is needed. We would like to do a boundary adjustment with the Right of Way as well. Memorialization of the shed has been discussed. An easement can be done for the shed as it doesn't bother us.

Ms. Murray: Are you also trying to do some boundary line adjustment because of that strange piece of land?

Mr. Ford: No, an easement so the shed can stay there. Today's purpose is to show you the layout. Work should be starting after labor day and paved by early October. We do need a public hearing for the road layout. So once that plan is done we will need that. And then the sign off from the Bean Family Trust.

Mr. Deshaies: Are we doing a land swap with the condos or a boundary adjustment?

Mr. Ford: We are trying to square that land off and they may get more land but we will be going into green space.

Ms. Murray: Can you provide us a blowup of what that area will look like? Where the crosswalk or tree area is?

Mr. Ford: I can get you a blowup of that area. We have also talked to the Water Ski Club and at some point in the future they might want to do something down there so there will be a conduit and a streetlight put it.

Ms. Murray: Will you continue to carry a theme with the streetlights?

Mr. Ford: Yes

Mr. Deshaies: A light for the EV charging area too would be needed.

Mr. Ford: As soon as we get the boundary details we will be back to discuss further.

**F. Discussion: Status Report on Public Safety Complex (see attached)**

Mr. Pineo: We have been working for a few years on a conceptual project. \$12 million was the estimate of the project in 2017 (??). We created a subcommittee who has been working with the chiefs of the departments. We have identified a couple of locations. The result came back with a police station at the former "water tower site" on North Main Street, the fire station at the

existing South Main Street location (renovated and expanded) with a replacement of the substation located on 109 East. The price tag for those 3 projects is sitting at \$16.2 million. Friday we will be discussing this at CIP. We still need to get another estimate from a third party. But I think we need to go back to the drawing board on this and Chief Rondeau and acting Chief Zotti agreed. We should push this project back to 2024 rather than 2023 which will hopefully get us out of this Covid issue. Supply, construction issues. Stimulus funding might be available at that time.

Ms. Murray: That is too high of a price tag. Definitely need to go back to the drawing board and bring this down.

Mr. Freudenberg: A fire department substation at \$1.7million it seems like that building has been underutilized for a long time. I would like to see justification moving forward as to why we would need a building like that.

Mr. Deshaies: I agree with Luke. A lot of communities have put up public safety buildings lately and fire and police are together. Filter Bed Road is a good location that we should look at. Also, we should go to other towns that have fought with this problem and get more information.

Mr. Senecal: I've been on the committee from the beginning and we have taken a lot of field trips to different towns. One of the reasons we picked these two locations is because we own the property and water and sewer is available. The building on 109 East, you might want to take a look at that building. It should be torn down. A lot of what it comes down to, in other towns as well, is money. Our architect did a very good job taking the blocks and putting them together. We need space for the police department. We had a drawing with police and fire in the same location and it was too small.

Mr. Deshaies: I was thinking a new building on Filter Bed Road which gives you better access to both sides of town.

Mr. Senecal: The cost per square foot would not change.

Mr. Deshaies: Our high school and middle school were done for \$67 million. The Town of Exeter did theirs for \$47 million. Farmington built theirs for \$4 million. Companies that deal with Wolfeboro think we have a huge checkbook.

Mr. Harriman: I agree with Jim holding off another year until the construction industry stabilizes.

Ms. Murray: I believe this is very needed and should be the next project to go forward I just don't think we can sell this at that price. At the Budget Committee it was said on a scale of 1 to 10 in materials we are at 7 for cost. We are 100% behind this but we are just trying to be realistic about the price.

Mr. Pineo: The building you talked about in Farmington was built with light weight trusses which doesn't compare to a utility building that will house expensive equipment and vehicles.

#### **G. Appointment: Edgewood Terrace Petition to accept private road**

Mr. Pineo: Mr. Miles is here to speak to his petition to accept Edgewood Terrace as a public road which is a counter petition that states that the road remains private and we have those signatures in compliance to the petition.

Mr. Miles: In concern of all the Edgewood Terrace neighbors safety and road maintenance, I am asking the board to notify all neighbors by certified mail to have a public meeting so all neighbors can be aware of the cost going forward. I contacted the attorney that John Thurston presented a letter from to you, and he never contacted me back. It is also not signed.

Ms. Murray: You maybe need to establish a Homeowners Association to deal with the road. The majority of the residence do not want it to be public.

Mr. Freudenbeg: This is an issue inside this community. It doesn't meet the 50% threshold either.

Mr. Senecal: I think there are some pretty clear avenues to ask a town to accept a road as public and I don't see that here. Until they supply all the information necessary to the state and the town I am not willing to discuss this.

Mr. Harriman: I agree with what is being said here. Until we get an actual application in here for a request.

**Linda Murray made a motion that the Board will not consider or deny any petition to layout a Class V public road until we have the man power and equipment to do so and it was seconded by Brian Deshaies. Brian deshaies seconded that. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

Mr. Deshaies: When you say the town cannot take on another road, do you mean a plow truck and an employee is needed?

Ms. Murray: That is correct. The homeowners need to get together and communicate with each other.

Mr. Miles: I'm hearing you don't have enough equipment. So, if we made all the roads private we wouldn't need any plow trucks? Isn't that how you build a town? I would think it would be to your advantage.

Ms. Murray: We would have to have the manpower to handle any more roads.

Mr. Senecal: All of the roads that have recently been accepted were built to town specifications.

Mr. Deshaies: 46% of the road mileage is private roads. So, if the town took that over, they would have to double the Dept of Public Works staff and taxes would go way up.

## **H. Discussion: Town Office Holiday Hours**

Ms. Murray: Christmas falls on a weekend, so we are looking at being closed Friday the 24<sup>th</sup> and Monday the 27<sup>th</sup>.

Mr. Pineo: Personnel policy gives the day before and the day of Christmas off. Christmas is on a weekend. Obviously those in safety services will be compensated for the actual holiday.

Ms. Murray: I am comfortable with that.

Mr. Senecal: I think it is going against the union.

**Linda Murray made a motion for the 2021 Holiday Hours as follows: to be closed Friday the 24<sup>th</sup> and Monday the 27<sup>th</sup> and it was seconded by Luke Freudenberg. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – no, and Brian Deshaies – yes. With one no, the motion passes.**

Ms. Murray: New Year's day is Saturday and Last Night Wolfeboro will be happening. In the past few years, we have allowed employees to leave at noon on the 31<sup>st</sup>. We can hold off on the decision until we know what activities are happening.

Mr. Harriman: Couldn't we just give them that Friday off?

Ms. Murray: New Year's day is not part of any contract right Jim?

Mr. Pineo: New Year's day is a holiday.

Ms. Murray: Let's deal with New Years as we get closer. We will get Jim to put a new proposal together and we will deal with it next meeting.

### **I. Discussion: 2022 Budget Review Schedule**

Ms. Murray: Has everybody looked at the dates? Does anybody have any issues?

No issues with the dates listed (see attached)

### **7. Other Business**

Ms. Murray: Town Managers evaluation form was sent to all of you so we need to get this going. This is a form we have used for quite a while. It will be on the next agenda for us to decide whether to use it or come up with a new one. (review the form)

### **8. Committee Reports**

Mr. Harriman: Planning Board – work session going over Warrant Articles, Friends of Libby

Mr. Senecal: Conservation Commission, Ag Commission (?)

Ms. Murray: Wolfeboro Waters – worked on a MOU between town and Lake Winnepesaukee Association, Budget Committee, Friends of Pop Whalen, Library, Daughters of American Revolution – award ceremony for Kathy Barnard, Two CIP meetings – police submitted \$50k for their dispatch console and the fire department submitted \$196,000 to be added to their CIP. Dave Ford brought forth his water and sewer enterprise funds.

Mr. Freudenberg: Chamber of Commerce – discussion about beaches, Wolfeboro Waters

Mr. Deshaies: CIP, Budget Committee, met with a company called Hubs 66 that does WiFi internet which is too slow right now but they are looking at hitting the islands and rural areas, Sub-Committee Short Term Rentals – very divisive, I hope they find some middle ground moving forward. They settled on 30 days as a transient rental.

### **9. Town Manager's Report**

Jim Pineo: CIP meetings, Budget Committee meeting. We had a problem with the water/sewer pickup truck. It's a 2012 with 70,000 miles on it, significant rust and motor issues. It was

scheduled for replacement in 2022. The town mechanic recommended we try and replace it if we could. He found one that fits our needs for \$51,455. We received \$10k in trade and it includes the plow. That expenditure was unforeseen. I also attended a Wolfeboro Waters meeting where we discussed fundraising for the Watershed Management Plan. Friends of Pop Whalen will be coming to the September 1<sup>st</sup> Board meeting for an acceptance of \$100k for the expansion at the ice arena. Also, on 9/1 Friends of Abenaki will be here as they have raised the funds to expand the snowmaking at the ski area. They will be coming to us to give us \$269,000. It appears that some people have been unsubscribed from the alerts that come from our website, so if you utilize those alerts you may want to go to the website and see if you are unsubscribed.

## **10. Questions From the Press**

Alyssa Paquette: I just wanted to comment how vaccination rates and the Delta variant are impacting our communities. The school board stated this week that the students will be wearing masks depending on the rates of transmission. Carroll County is substantial. Wolfeboro has 5 active cases with a 72% rate of vaccinated.

Acting Chief Zotti: Representative McDonald is sponsoring a vaccination clinic August 30<sup>th</sup> at the Wolfeboro Inn. You can actively now sign up. You don't have to be from Wolfeboro or even New Hampshire. We as a committee are continuing to watch the direction the numbers are going. I can tell you as of this morning there are no admitted patients at Huggins. We have bumped up our internal level of precaution at the public safety building. I would encourage anyone who is not vaccinated to do so as it is still the best way to prevent the spreading.

Mr. Deshaies: I listened to a radio show with Bill Marsh and a rep from Conway who was a spinal surgeon. They spoke for an hour about vaccinations. Maybe the town could put a link to it out there.

Mr. Freudenberg: At Walgreens in Wolfeboro you can get vaccinated, no insurance, no money, just an ID. You don't need an appointment. Don't hesitate to get vaccinated.

Alyssa: A couple months ago, a bunch of us took off our masks thinking we were not spreaders. However, with the Delta variant, a person vaccinated may not have symptoms but can affect other people.

Mr. Deshaies: Moderna has come out with their booster shot increasing it to, with the variants, 86%.

Chief Zotti: I was discussing a booster vs 3<sup>rd</sup> dose and apparently there is a difference. People with existing conditions will be recommended for these.

Alyssa: Booster shots are now available at Huggins.

## **11. Public Input** (Limited to 3 minutes per resident, not to exceed 15 minutes in total)

Suzanne Ryan, a resident of Wolfeboro: Could the Board explain or clarify what was initiated to have the Farmers Market leave Clark Park.

Mr. Pineo: I am going to respectfully ask that we be able to respond to you at the Sept 1<sup>st</sup> meeting. Does that work for you?

Suzanne: Certainly



Ms. Murray: Dave pointed out that the Sept 22<sup>nd</sup> meeting for the Board budget is scheduled for 6:30 and it should be 6:00.

**Luke Freudenberg made a motion and it was seconded by Dave Senecal to move into non-public hearing. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

**Brad Harriman made a motion and it was seconded by Dave Senecal to move out of non-public hearing. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

**Luke Freudenberg made a motion and it was seconded by Dave Senecal to seal the minutes. Roll call vote Brad Harriman – yes, Linda Murray – yes, Luke Freudenberg – yes, Dave Senecal – yes, and Brian Deshaies - yes. Being none opposed, the motion passed.**

**It was moved by Dave Senecal and seconded by Brad Harriman to adjourn at 9:13 PM. Roll call vote Brad Harriman—yes, Linda Murray—yes, Luke Freudenberg—yes, Dave Senecal—yes, and Brian Deshaies—yes. Being none opposed, the motion passed.**

Respectfully Submitted,  
Christine Metcalfe Doherty

JUL 30 2021

7/30/2021

TO: TOWN MANAGER TOWN OF WOLFEBORO NH

FROM: JOHN THURSTON RESIDENT

REASON: EDGEWOOD TERRACE

ATTACHED: LEGAL LETTERS FROM MAJORITY:

WALKER + VARNEY DATE MARCH 15, 2021

JOHN THURSTON DATE APRIL 29, 2021

ATTACHED: FOIA LETTER CHAIN - AMY CARONE MUCCIO

DEAR SIR,

THE LETTER FROM MR MILES REQUESTING  
THE TOWN OF WOLFEBORO TO CONVERT  
EDGEWOOD TERRACE TO A PUBLIC ROAD  
FROM A PRIVATE RD SHOULD ACCOMPANY  
THE LEGAL LETTER DRAFTED BY

WALKER + VARNEY AND SIGNED BY  
7 SEPARATE PROPERTY OWNERS.

MR MILES DOES NOT HAVE THE MAJORITY  
SUPPORT OR 50%. MR MILES MAKES  
THIS CLAIM JULY 14, 2021 ON THE 4TH SENTENCE.  
THIS CLAIM IS NOT SUBSTANTIATED BY MR MILES.  
TO THE CONTRARY, THE LEGAL LETTER CLEARLY  
STATES THE INTENT AND SUPPORTED CAUSE  
BY THE MAJORITY IN LETTERS DATED

3/15/21  
+ 4/29/21

April 29, 2021

Enclosed are legal letters.

You are receiving this notice  
to inform you of the  
majority support.

If you wish to join the support  
of the majority, please sign and return.  
Respectfully,

John Thursto

P.O. Box 861

Walpole, Falls NH

03896

W  
**WALKER & VARNEY P.C.**  
ATTORNEYS AT LAW  
26 NORTH MAIN STREET - P. O. BOX 509  
WOLFEBORO, NEW HAMPSHIRE 03894

GEORGE W. WALKER  
THOMAS R. WALKER  
JAMES P. COWLES  
BRIDGET N. MITCHELL

ROBERT C. VARNEY (RETIRED)

TEL: 603-569-2000  
FAX: 603-569-4759

March 15, 2021

Mark and Amanda Fucci  
7 Edgewood Terrace  
Wolfeboro, NH 03894

RE: Edgewood Terrace

Dear Mr. and Mrs. Fucci,

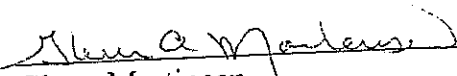
Our office represents a majority of the property owners on Edgewood Terrace who have executed this letter below. Edgewood Terrace is a private road on which 12 lots have frontage with 11 of said lots using the same. Historically, the burden (and it is a burden), of maintenance, repair and plowing has been attended to by one of the owners selected by the group. This burden has been efficiently, economically and honorably discharged by John Thurston for years, to all property owners' benefit such that the road is kept in great shape at a reasonable cost. The road also requires special care regarding plowing and drainage. Our office has been advised that you have unilaterally taken it upon yourself to perform some plowing and have altered drainage ditches by filling the same with beach sand. Neither has been appreciated by your neighbors. There are also advantages to have the work performed by one contractor, or at least single functions performed by one contractor so that different contractors are not working at cross purposes.

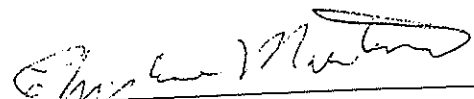
The goal, of course, is to have a collegial neighborhood environment with everyone collectively and amicably working together for everyone's mutual benefit. It would therefore be appreciated if you would discontinue your solo activity and work with your neighbors and through their collectively agreed contractor. Your input of course would be welcome.

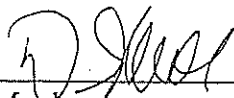
Thank you, in advance, for your anticipated cooperation.

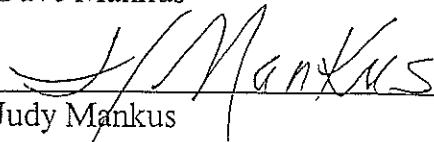
Sincerely,

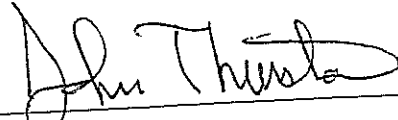
Thomas R. Walker

  
Glenn Martinsen

  
Chris Martinsen

  
\_\_\_\_\_  
Dave Mankus

  
\_\_\_\_\_  
Judy Mankus

A handwritten signature in black ink, appearing to read "John Thurston". The signature is written in a cursive style with a large initial "J" and a long, sweeping underline that extends to the right.

John Thurston

---

Dan Miles

---

Toni Miles

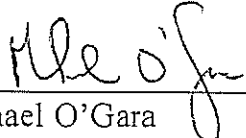


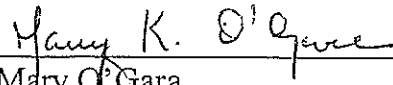
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Jeff Tarbell

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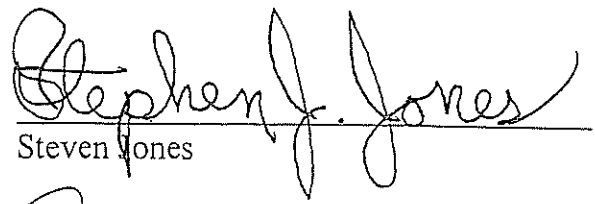
Lisa Tarbell

  
\_\_\_\_\_  
Michael O'Gara

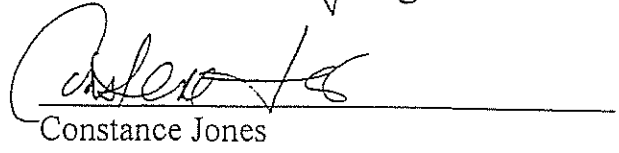
  
\_\_\_\_\_  
Mary O'Gara

---

Susan Wheeler

A handwritten signature in cursive script that reads "Stephen F. Jones". The signature is written over a horizontal line.

Steven Jones

A handwritten signature in cursive script that reads "Constance Jones". The signature is written over a horizontal line.

Constance Jones

July of 2020

**Partition: To The Town of Wolfeboro**

As a resident of Edgewood Terrace, Wolfeboro NH

Please consider this a signed partition of interest in converting our road from Private to Public to obtain a paved road with provided maintenance.

Please implement a public hearing with notice to all neighbors of Edgewood Terrace to discuss this matter and our options.

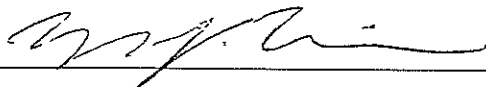
I agree in moving forward with reviewing the actions of converting from a Private to a Public road. Please respond with a meeting date for review.

**Please Print:**

NAME: MARK J. FULLI

MALING ADDRESS: 7 EDGEWOOD TER, WOLFEBORO

RESIDENT ADDRESS: SAME

Signed Signature;  7/21/2020

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I agree in moving forward with reviewing the actions of converting from a Private to  
a Public road. Please respond with a meeting date for review.

Please Print:

NAME: JEFFREY TACBELL & LISA TACBELL

MALING ADDRESS: 8 Edgewood Ter, Wolfeboro NH. 03894

RESIDENT ADDRESS: SAME

Signed Signature; Jeffrey Tacbell Lisa Tacbell

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Please Print:

NAME: DANIEL MILES

MALING ADDRESS: 5 EDGEWOOD TER. 1763

RESIDENT ADDRESS: WOLFEBORO NH 03894

Signed Signature: 

508-269-1055

dmiles0204@gmail.com

July of 2020

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a Public road. Please respond with a meeting date for review.

Please Print:

NAME: GLENW MARTINSEN

MAILING ADDRESS: 1 Edgewood Terr

RESIDENT ADDRESS: \_\_\_\_\_

Signed Signature; Glenw Martinson



July of 2020

Hello Neighbors,

I'm writing to you in concern of our road maintenance. The road is currently maintained by John Thurston, as a private dirt road with the current billing of 350.00 dollars per household lot, per year.

I'm requesting of you to sign the enclosed partition with interest in having a Town hearing to review the process of having the Town of Wolfeboro convert the road from Private to Public and have the road paved and maintained by the Town of Wolfeboro.

This of course would incur a property tax increase but we would have to weigh out the differences verses dirt or paved and who is liable for maintenance as well as what the Tax increase would be per household.

This is a partition for preliminary and discovery purpose only and does not commit to any agreement with the Town of Wolfeboro. It is to let the Town know we are interested in converting to a Public road.

With us initiating a partition the Town would then create a hearing/meeting to discuss as an open matter of proposing the conversion to a Public Rd. with notification to us all to participate and discuss in further detail.

Please read and sign the enclosed partition if you are interested in this proposal. If I receive back enough votes to partition in favor to the town, I will forward the partition and you should receive a letter from the town with a meeting date and time. Please return to me by 07/15/20

If you would like, call me and I will pick up your partition 508-269-1055  
Or you can scan and email it to; [dmiles0204@gmail.com](mailto:dmiles0204@gmail.com)

Thank you for your time,

Daniel J. Miles  
PO Box 1763  
5 Edgewood Terrace  
Wolfeboro, NH 03894

508-269-1055  
[dmiles0204@gmail.com](mailto:dmiles0204@gmail.com)

From: Wolfeboro <wofeboro@gmail.com>  
Subject: Re: ROAD - 5 Edgewood Ter.  
Date: July 13, 2020 at 9:01 AM  
To: Daniel Miles <dmiles0204@gmail.com>

Dan,

Attached is the signed letter. I am agreeing to a Fact Finding Meeting only at this point. I am not committing to spending any money yet until we have all the answers and figures.

Glenn Martinsen  
1 Edgewood Terrace  
Wolfeboro, NH 03894

PS You misspelled MAILING (MALING) on the form I signed.

On Sat, Jul 11, 2020 at 1:30 PM Daniel Miles <dmiles0204@gmail.com> wrote:  
Hello Glenn,

Thank you for taking my call this morning. The attached is a letter of partition to the Town to bring them to attention to commence with notices to the neighbors for an informational meeting to understand our options in possibly converting from a Private to Public road.

I'm reaching out for signatures from the neighbors to let the town know we would like to have a informational hearing on this matter.

If you would kindly review and forward back to me at your earliest convenience it would be much appreciated.

Thank you  
Daniel Miles  
5 Edgewood Ter. 1763  
Wolfeboro, NH 03894

Tel. 508-269-1055  
[dmiles0204@gmail.com](mailto:dmiles0204@gmail.com)



Edgewood Terr  
- Publi...ad.pdf

Daniel J. Miles  
5 Edgewood Terrace (1763)  
Wolfeboro, NH 03894

NOV 16 2020

11/16/2020

Board of Selectmen  
84 SO. Main Street (629)  
Wolfeboro, NH 03894


**Re:** Request for a Public Hearing/Meeting to discuss our options of converting from a Private to Public Road.

Board Members,  
Please find enclosed some of the neighbor's acknowledgement for requesting a meeting to discuss openly our options of converting to a public road.

We would like to know the cost/tax implication for the Town to take on the responsibilities of maintaining Edgewood Terrace as a public roadway, provided the Town would agree to paving the road.

I'm requesting at this time you notify all residence of Edgewood Terrace to discuss this matter openly in a dated public meeting soon as possible.

Thank you

  
Daniel J. Miles

508-269-1055

[dmiles0204@gmail.com](mailto:dmiles0204@gmail.com)

July of 2020

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I'm writing to you in concern of our road maintenance. The road is currently maintained by John Thurston, as a private dirt road with the current billing of 350.00 dollars per household lot, per year.

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If you would like, call me and I will pick up your partition 508-269-1055  
Or you can scan and email it to; [dmiles0204@gmail.com](mailto:dmiles0204@gmail.com)

Thank you for your time,

Daniel J. Miles  
PO Box 1763  
5 Edgewood Terrace  
Wolfeboro, NH 03894

508-269-1055  
[dmiles0204@gmail.com](mailto:dmiles0204@gmail.com)

July of 2020

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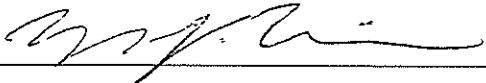
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RESIDENT ADDRESS: SAME

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MALING ADDRESS: 8 Edgewood Ter, Wolfeboro NH. 03894

RESIDENT ADDRESS: SAME

Signed Signature: Jeffrey Tacbell Lisa Tacbell

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MAILING ADDRESS: 1 Edgewood Terr

RESIDENT ADDRESS: \_\_\_\_\_

Signed Signature; Glenw Martinson



## Amy Capone-Muccio

---

**From:** David Ford  
**Sent:** Thursday, August 12, 2021 8:39 AM  
**To:** James Pineo; Amy Capone-Muccio  
**Cc:** Tony Guilbault; Scott Pike; Adam Tasker; Marie Durgan  
**Subject:** FW: Railroad Ave Drawings - Preliminary Discussions w BOS  
**Attachments:** Railroad Ave DRAFT 8-6-21.pdf

Jim and Amy;

I would like to have a preliminary discussion on Railroad Ave layout and upgrades.

Surveyor is working on ROW plan, and I am meeting with stakeholders (Railroad Museum, Condo's; EV charging) this morning to go over upgrade details.

The attached plans are Draft and subject to change after today's meeting, but would like to discuss with BOS on 8-18-2021,

Thanks,

Dave

**From:** Benjamin Dreyer [mailto:bdreyer@underwoodengineers.com]  
**Sent:** Friday, August 06, 2021 10:33 AM  
**To:** David Ford <pwdirector@wolfeboronh.us>  
**Subject:** Railroad Ave Drawings

Dave,

Here is an updated progress drawing set based on our work session earlier this week (8.3.21) which incorporates the changes we discussed. We will be able to finalize with any comments from meetings the Town has arranged with RR Museum, electric company etc. Other minor details we will be looking at as we finalize the drawings are listed below (i.e. these changes are submitted for next week):

- Location of EV parking TBD/selected by Town and RR Museum
- Adjust low point at 100+00 to align with existing CB #3
- Flatten gutter shown on cross sections (it can just be the point where 3% and 3% meet each other; if desired the paver could tune it up with the roller in the field)
- Drainage and Sewer utilities will be added to the profile (drainage slopes are  $S=.005$ )
- Show TBM's on plan view
- Tree location at rain garden (STA 3+25 LT)
- Speed table detail
- Notes and detail organization
- Add quantity tables

Please call with any questions.

**LEGEND**

- BOUND
- CATCH BASIN
- DRAIN MANHOLE
- ELECTRIC METER
- GAS METER
- GUY WIRE
- HYDRAULIC
- IRON PIPE/REBAR
- IRIGATION
- LIGHT POST
- MAILBOX/PAPER BOX
- ROCK
- SEWER MANHOLE
- SEWER
- TREE - CONIFEROUS
- TREE - DECIDUOUS
- UTILITY POLE
- WATER GATE
- WATER SHUT OFF
- WATER VALVE
- CONTOUR MINOR
- DRAINAGE LINE
- EDGE OF PAVEMENT
- SEWER LINE
- SHOULDER LINE
- TRAIL LINE
- BRICK
- BUILDING
- CONCRETE
- LANDSCAPING

**RAILROAD AVE. PROFILE VIEW**

Scale: 1 inch = 20 ft.

Vertical Curve Data:

- Station 1: 1+00.00, Elevation 500.00, PVI STA = 1+00.00, PVI ELEV = 500.00, LPI STA = 1+00.00, LPI ELEV = 500.00, A = 0.00, K = 0.00
- Station 2: 2+00.00, Elevation 500.00, PVI STA = 2+00.00, PVI ELEV = 500.00, LPI STA = 2+00.00, LPI ELEV = 500.00, A = 0.00, K = 0.00
- Station 3: 3+00.00, Elevation 500.00, PVI STA = 3+00.00, PVI ELEV = 500.00, LPI STA = 3+00.00, LPI ELEV = 500.00, A = 0.00, K = 0.00
- Station 4: 4+00.00, Elevation 500.00, PVI STA = 4+00.00, PVI ELEV = 500.00, LPI STA = 4+00.00, LPI ELEV = 500.00, A = 0.00, K = 0.00
- Station 5: 5+00.00, Elevation 500.00, PVI STA = 5+00.00, PVI ELEV = 500.00, LPI STA = 5+00.00, LPI ELEV = 500.00, A = 0.00, K = 0.00
- Station 6: 6+00.00, Elevation 500.00, PVI STA = 6+00.00, PVI ELEV = 500.00, LPI STA = 6+00.00, LPI ELEV = 500.00, A = 0.00, K = 0.00
- Station 7: 7+00.00, Elevation 500.00, PVI STA = 7+00.00, PVI ELEV = 500.00, LPI STA = 7+00.00, LPI ELEV = 500.00, A = 0.00, K = 0.00
- Station 8: 8+00.00, Elevation 500.00, PVI STA = 8+00.00, PVI ELEV = 500.00, LPI STA = 8+00.00, LPI ELEV = 500.00, A = 0.00, K = 0.00
- Station 9: 9+00.00, Elevation 500.00, PVI STA = 9+00.00, PVI ELEV = 500.00, LPI STA = 9+00.00, LPI ELEV = 500.00, A = 0.00, K = 0.00
- Station 10: 10+00.00, Elevation 500.00, PVI STA = 10+00.00, PVI ELEV = 500.00, LPI STA = 10+00.00, LPI ELEV = 500.00, A = 0.00, K = 0.00

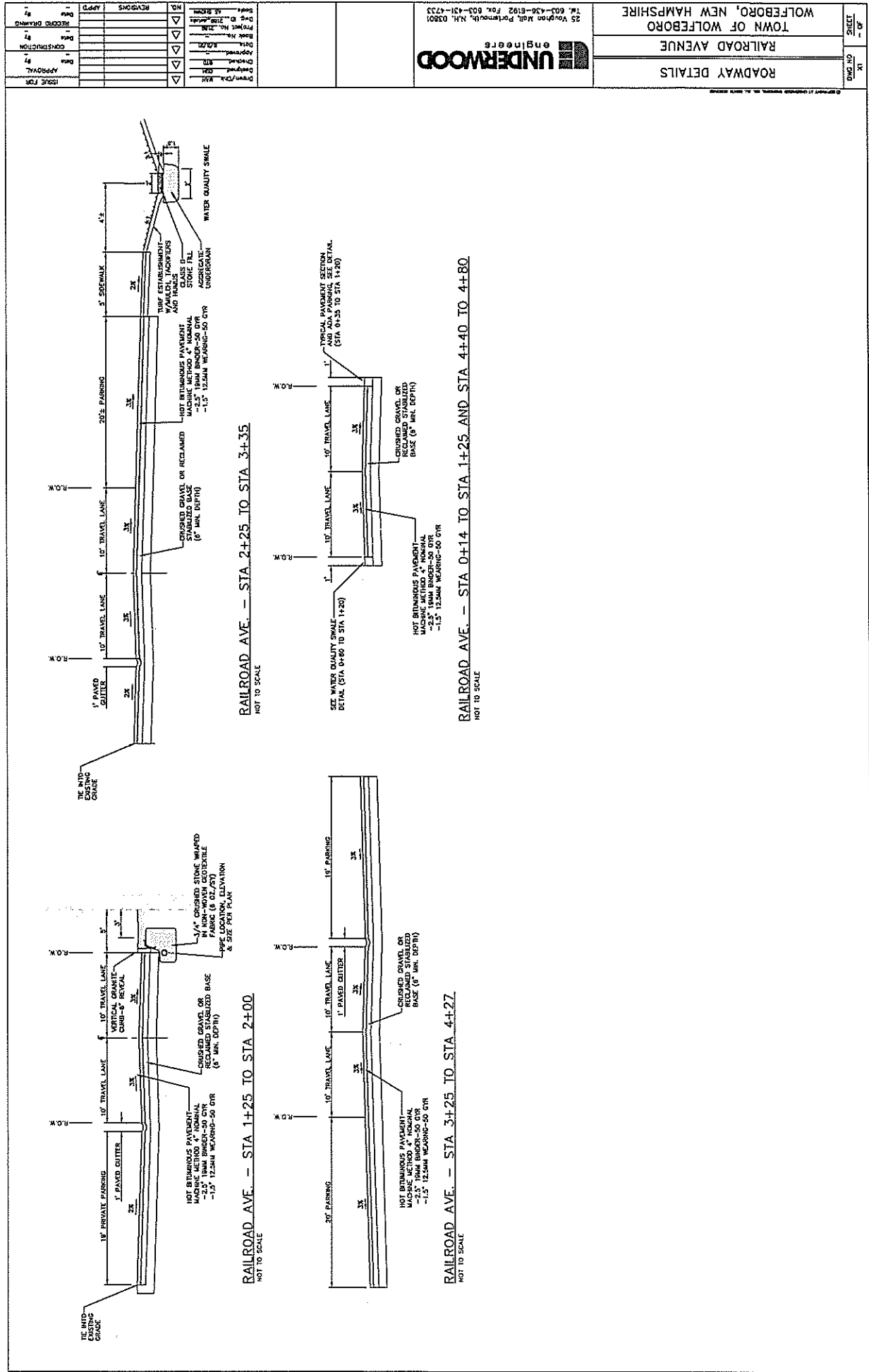
**RAILROAD AVE. PLAN VIEW**

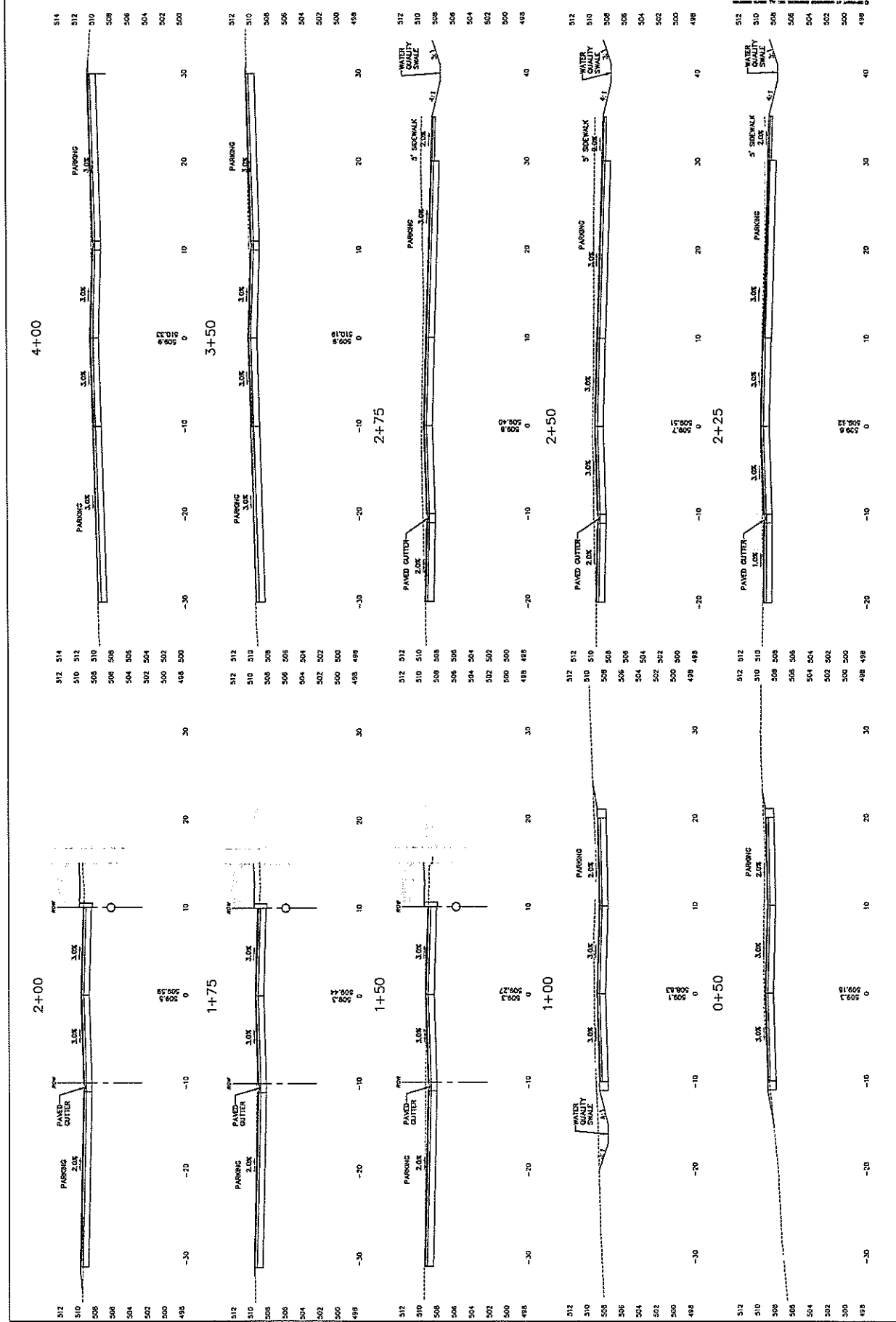
Scale: 1 inch = 20 ft.

Plan View Details:

- RAILROAD AVE. (Main Street)
- CLINTON ST. (Intersecting Street)
- Various utility lines (Electric, Gas, Sewer, Water)
- Manholes and catch basins
- Landscaping and trees
- Building footprints
- Right-of-way lines

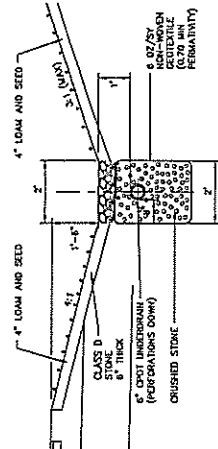
### LEGEND



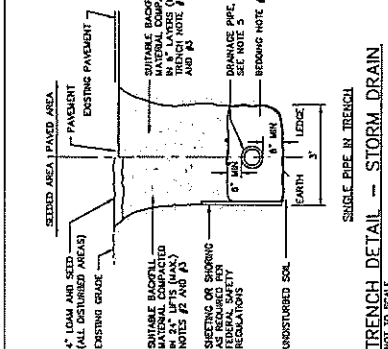


# WATER QUALITY SWALE NOTES

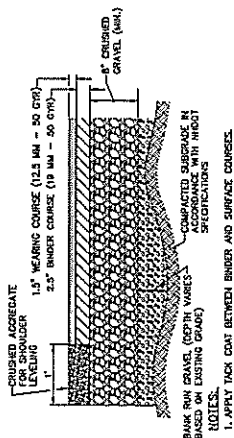
1. R.P. RAP GRADATION AND INSTALLATION SHALL MEET INHOOT REQUIREMENTS.
2. CRUSHED STONE SHALL BE 3/4" TO 1-1/2" IN DIAMETER AS SPECIFIED BY THE PROJECT MANUAL.
3. USE CRUSHION CONTROL MAT ON SWALE BACK SLOPE WHEN STEEPER THAN 3:1.



TYPICAL WATER QUALITY SWALE  
NOT TO SCALE

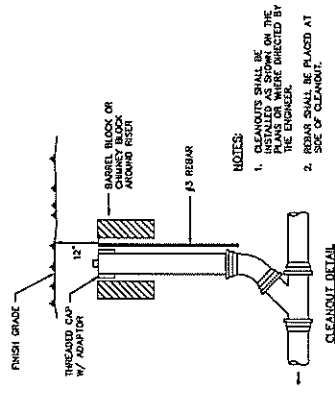


TRENCH DETAIL -- STORM DRAIN  
NOT TO SCALE



- NOTES:
1. ALL MATERIALS SHALL CONFORM TO INHOOT SPECIFICATIONS, LATEST EDITION.
  2. CRUSHED GRAVEL SHALL MEET SECTION 02223, INHOOT 2014, OR 2014.3.
  3. CRUSHED AGGREGATE FOR SHOULDER LENDING SHALL MEET INHOOT 2014.3, PASSING THE # 40 sieve.
  4. COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH INHOOT SPECIFICATIONS.
  5. CROWN SLOPE VARIES, SEE PLANS. FAVORABLE SLOPE IN AREA PARKING AREAS NOT TO EXCEED 3%.

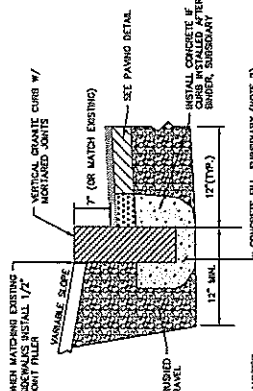
TYPICAL PAVEMENT SECTION  
NOT TO SCALE



DRIP EDGE CLEANOUT  
NOT TO SCALE

# TRENCH NOTES -- STORM DRAIN

1. BEDDING, BEDDING FOR PIPES SHALL CONSIST OF PREPARING THE BOTTOM OF THE TRENCH TO BE A MINIMUM OF 12" DEEP. THE BEDDING SHALL BE A MINIMUM OF 12" DEEP. THE BEDDING SHALL BE A MINIMUM OF 12" DEEP. THE BEDDING SHALL BE A MINIMUM OF 12" DEEP.
2. COMPACTOR: ALL BEDDING SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE CONTENT BY MEANS OF A TAMPING, VIBRATORY COMPACTOR OR OTHER APPROVED MEANS. THE BEDDING SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY OF THE MATERIAL AS DETERMINED BY THE STANDARD METHOD (ASTM D 1557).
3. SLOPE: SLOPE SHALL BE A MINIMUM OF 1% FOR ALL TRENCHES. THE SLOPE SHALL BE A MINIMUM OF 1% FOR ALL TRENCHES. THE SLOPE SHALL BE A MINIMUM OF 1% FOR ALL TRENCHES.
4. BASE COURSE AND BEDDING: SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES -- DIVISION 300 AND 400 RESPECTIVELY.
5. DRAINAGE PIPE: PIPE MATERIALS SHALL BE POLYETHYLENE GLASS REINFORCED (PFR) MEETING INHOOT SPECIFICATIONS. ALL PIPE SHALL BE 12" IN DIAMETER. THE PIPE SHALL BE 12" IN DIAMETER. THE PIPE SHALL BE 12" IN DIAMETER. THE PIPE SHALL BE 12" IN DIAMETER.
6. JOINTS: JOINTS SHALL BE 12" LONG. THE JOINTS SHALL BE 12" LONG. THE JOINTS SHALL BE 12" LONG. THE JOINTS SHALL BE 12" LONG. THE JOINTS SHALL BE 12" LONG.

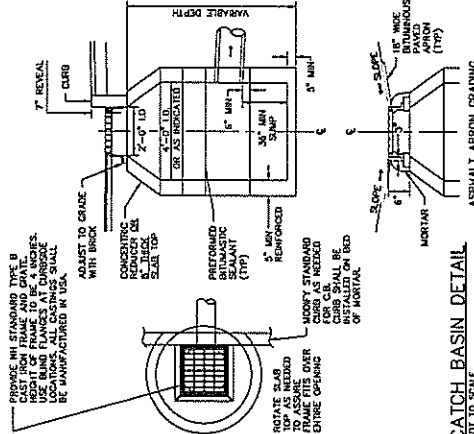


- NOTES:
1. MANHOLE OR MANHOLE CURB (WHETHER GRANITE OR CONCRETE) IS TO BE REPLACED AT THE CONTRACTOR'S OWN EXPENSE, UNLESS OTHERWISE NOTED ON PLAN.
  2. CLASS AA CONCRETE FILL SHALL BE PLACED IN VIEWS IN FRONT, SIDE, AND REAR OF CURB. SEE PLANS FOR DETAILS OF CURB AND BEDDING.

VERTICAL GRANITE CURB (NEW OR RESET)  
NOT TO SCALE

# STANDARD CATCH BASIN NOTES

1. IT IS THE INTENTION THAT THE CATCH BASIN, INCLUDING ALL COMPONENT PARTS, BE MANUFACTURED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES -- DIVISION 300 AND 400 RESPECTIVELY.
2. PRECAST CONCRETE, BARS, SECTIONS, CONES, AND BASES SHALL CONFORM TO INHOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. BEAMS AND GRATES CATCH BASIN FRAMES AND GRATES SHALL BE OF HEAVY GALVANIZED STEEL. THE BEAMS AND GRATES SHALL BE OF HEAVY GALVANIZED STEEL. THE BEAMS AND GRATES SHALL BE OF HEAVY GALVANIZED STEEL.
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CATCH BASIN DETAIL  
NOT TO SCALE







BOARD OF SELECTMEN  
Linda Murray, Chair  
David Senecal, Vice  
Brian Deshaies  
Luke Freudenberg  
Brad Harriman

*Town of  
Wolfeboro*

James S. Pineo, Town Manager

TO: Board of Selectmen  
FROM: James S. Pineo, Town Manager   
CC: Chief Rondeau/Acting Chief Zotti/Tavis Austin, Town Planner  
DATE: August 10, 2021  
RE: Public Safety Building

In 2017 Lavallee/Bresinger Architects were contracted by the town of Wolfeboro to evaluate options for the towns Fire and Police Departments. During the summer of 2018 Lavallee/Bresinger presented to the Board of Selectmen a renovation and expansion of the existing Public Safety Building. The cost of this project was estimated at \$12,000,000.00, which did not include the Fire Department sub-station.

Since that time a sub-committee has been formed to look at options for the towns Fire and Police Departments. A decision was made to renovate and expand the Fire Department at the existing South Main Street location with a replacement of the sub-station located on 109 East. Further the plan calls for a new stand-alone Police Station to be located on North Main Street at the former "water tower site". The sub-committees worked in conjunction with both departments to updates space programming and layout.

This work has resulted in three (3) conceptual buildings for which estimated costs and square footage outlined in the below spreadsheet.

	Estimated Cost	Square footage
Fire Station	\$ 7,950,000	18,297
FD Sub Station	\$ 1,770,000	4,992
Police Station	\$ 6,490,000	14,130
Total	\$ 16,210,000	37,419

At this time the costs of building materials coupled with supply chain issues are creating significant concern for bringing this project forward in 2023. Therefore, I am recommending that this project be moved to 2024 while continuing to work with stakeholders to find the best possible solution for the Wolfeboro Public Safety Facilities.

Attached you will find the space programming and cost estimates.

JSP



**Town of Wolfeboro**  
Fire Department Building

**Feasibility Study Update**  
April 01, 2021

**Prepared for:**  
Town of Wolfeboro Board of Selectmen



# DRAFT

LAVALLEE|BRENSINGER ARCHITECTS

**Programmatic Needs Assessment**  
 Fire Dep. Building Study  
 Town of Wolfeboro, NH

LAVALLÉE|BRENSINGER ARCHITECTS  
 LBA Project no. 17-083-00  
 Updated Fire Dep. Program  
 01/15/2021

**Executive Summary**

LAVALLÉE|BRENSINGER ARCHITECTS

Space Designation		Space Need			
No.	Function	Reference	2020 (current need)	2025	2035
<b>COMMON SPACES</b>					
C-1	Common Spaces	2,594	1,968	1,968	1,968
	<b>COMMON TOTAL</b>	<b>2,594</b>	<b>1,968</b>	<b>1,968</b>	<b>1,968</b>
<b>FIRE DEPARTMENT</b>					
F-1	Fire Administration	1,550	1,567	1,567	1,471
F-2	Fire Station	9,427	10,655	10,734	10,864
F-3	FD Departmental Support	1,488	1,596	1,596	1,596
	<b>FIRE TOTAL</b>	<b>12,466</b>	<b>13,818</b>	<b>13,897</b>	<b>13,931</b>
<b>BUILDING SUPPORT</b>					
S-1	Facility Support	1,982	1,699	1,699	1,699
	<b>BUILDING SUPPORT TOTAL</b>	<b>1,982</b>	<b>1,699</b>	<b>1,699</b>	<b>1,699</b>
	<b>TOTAL ALL PROGRAMS</b>	<b>17,042</b>	<b>17,485</b>	<b>17,564</b>	<b>17,598</b>

Notes

Executive Summary cont'd - Parking

**Programmatic Needs Assessment**  
**Fire Dep. Building Study**  
**Town of Wolfeboro, NH**

**LAVALLÉE BRENSINGER ARCHITECTS**  
 LBA Project no. 17-083-00  
**Updated Fire Dep. Program**  
**01/15/2021**

Parking Requirements				
	STAFF	VISITOR	FD VEHICLES	TOTAL
Fire Department	8	0	5	13
Public - EOC	0	10	0	10
<b>TOTAL PARKING NEED</b>	<b>8</b>	<b>10</b>	<b>5</b>	<b>23</b>

Notes

Does not include parking spaces for off-duty & part time personnel for fire calls.

Includes 2 ADA spaces

Vehicles	Area	Size	Main Station	Substation	
Utility 1	189	9x21	X		
Engine 4	313.5	9.5x33	X		
Engine 2	313.5	9.5x33	X		
Ladder 1	378	9x42	X		
Engine 1	247.5	9x27.5	X		
Boat 1	240	8x30		X	
Boat 2	172.5	7.5x23	X		
Ranger	153	9x17	X		
Hazmat Trailer	213.75	9.5x22.5		X	
Gator	144	9x16	X		
Snowmobile	135	9x15		X	
Car 1	136	8x17	X		
Engine 3	306	9x34		X	
Ambulance (Future)	243	9x27	X		
Ambulance (Future)	243	9x27	X		
Car 2 (Future)	136	8x17		X	
Support Trailer (Future)	114	9.5x12		X	

**Programmatic Needs Assessment**  
**Fire Dep. Building Study**  
**Town of Wolfeboro, NH**

**LAVALLÉE|BRENSINGER ARCHITECTS**  
 LBA Project no. 17-083-00  
**Updated Fire Dep. Program**  
**01/15/2021**

**C-1 Common Spaces**

**LAVALLÉE|BRENSINGER ARCHITECTS**

Space Designation		Space Need		
No.	Function	2020 (current need)	2025	2035
C-1	Common Spaces			
C-1.1	Entry Vestibule	80	80	80
C-1.2	Public Lobby	225	225	225
C-1.3	Public Restrooms @ 56 sf each	56	56	56
C-1.4	Administrative Assistant/Receptionist	64	64	64
C-1.6	EOC/Training/Commissioners Briefing Room	875	875	875
C-1.7	EOC Storage	100	100	100
C-1.8	EOC Kitchenette	40	40	40
C-1.9	Exercise Equipment Alcove	200	200	200
	SUBTOTAL	1,640	1,640	1,640
	Efficiency Factor 20%	328	328	328
	<b>TOTAL C-1</b>	<b>1,968</b>	<b>1,968</b>	<b>1,968</b>

Notes

seating for 4 people  
 one with direct access to EOC  
 Position tied to lobby / entry  
 35 occupants. Tech for Common Operating Picture (COP) during emergencies. Could be reduced to 25-30 if necc. Includes law library.  
 Chairs/tables storage

# Programmatic Needs Assessment

Fire Dep. Building Study  
Town of Wolfeboro, NH

LAVALLÉE BRENSINGER ARCHITECTS

LBA Project no. 17-083-00  
Updated Fire Dep. Program  
01/15/2021

## F-1 Fire Administration

LAVALLÉE BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
F-1	Fire Administration				
F-1.1	Administrative Assistant to the Chief	100	100	100	Private Office
F-1.2	Fire Chief's Office	180	180	180	Private Office
F-1.3	Deputy Fire Chief's Office	120	120	120	Private Office
F-1.4	Small Meeting Room	200	200	120	Adjacent to Chief's Office
F-1.5	Fire Prevention/Plans Review/Investigator	100	100	100	Private Office
F-1.6	Lieutenant/EMT offices @ 100 sf each	100	100	100	Private Office
F-1.7	Admin Suite ADA Toilet	56	56	56	ADA Toilet
F-1.8	Files Storage Room	150	150	150	12x12 existing; similar area at substation, would need to be bigger if substation comes offline. Offsite possible
F-1.9	Lieutenant's Bunk Rooms - open space + restroom/shower	120	120	120	for one bunk room; shared by 3-4 lts, lockers included
F-1.10	Storage Closets @ 20 sf each	80	80	80	
F-1.11	Backup Dispatch	100	100	100	
C-1.4	Administrative Assistant/Receptionist	-	-	-	See Common C-1
C-1.6	Command Staff Conference Room	-	-	-	See F-1.4
SUBTOTAL		1,306	1,306	1,226	
Efficiency Factor 20%		261	261	245	
TOTAL F-1		1,567	1,567	1,471	

# Programmatic Needs Assessment

Fire Dep. Building Study  
Town of Wolfeboro, NH

LAVALLÉE|BRENSINGER ARCHITECTS

LBA Project no. 17-083-00

Updated Fire Dep. Program

01/15/2021

Space ID Name

F-2 Fire Station

Program Area

LAVALLÉE|BRENSINGER ARCHITECTS

Space Designation		Space Need		
No.	Function	2020 (current need)	2025	2035
<b>F-2 Fire Station</b>				
F-2.1	Individual Bunk Rooms @ 90 sf each	360	360	360
F-2.2	Toilet/Shower Rooms @ 80 sf each	160	160	160
F-2.3	Quartermaster Supply Storage	300	300	300
F-2.4	Call Firefighter Lockers	99	165	165
F-2.5	Day Room	260	260	260
F-2.6	Firefighter/EMT Ready Room @36 sf each	108	108	216
F-2.7	Kitchen	140	140	140
F-2.8	Pantry Storage Room	60	60	60
F-2.9	Dining Area	160	160	160
F-2.10	Apparatus Bays @ 18'x80' (double-length)	5,760	5,760	5,760
F-2.10a	FD Support Bays	840	840	840
F-2.10b	Unisex Toilet	56	56	56
F-2.11	Bunker Gear Storage @ 24 sf each	576	576	576
C-1.10	Exercise Equipment Alcove	-	-	-
SUBTOTAL		8,879	8,945	9,053
Efficiency Factor		1,776	1,789	1,811
TOTAL		10,655	10,734	10,864

Notes

Private Quarters  
Unisex  
Includes ambulance equipment storage  
Includes backup radio & communications system  
Adjacent to bays w/ window into bays, also near admin. Suite  
commercial equipment  
up to 6 people  
Existing bays: 70'x15' (1,050 sf)  
14x30 each - FD support vehicles  
8x7, accessible direct from inside apparatus bays  
see Common C-1

**Programmatic Needs Assessment**  
**Fire Dep. Building Study**  
**Town of Wolfeboro, NH**

**LAVALLÉE|BRENSINGER ARCHITECTS**  
 LBA Project no. 17-083-00  
**Updated Fire Dep. Program**  
**01/15/2021**

**F-3 FD Departmental Support**

**LAVALLÉE|BRENSINGER ARCHITECTS**

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
<b>F-3</b>	<b>FD Departmental Support</b>				
F-3.1	Extractor/Drying Room	140	140	140	Adjacent to Extractor/Decon, 20 1/2 height lockers, 2 showers
F-3.2	Male Locker / Shower Room	180	180	180	
F-3.3	Female Locker / Shower Room	120	120	120	
F-3.4	Single / Decon Shower	25	25	25	5x5, Adjacent to Extractor Room, In apparatus Bay
F-3.5	Air Compressor Room	80	80	80	
F-3.6	Tool Storage/Equipment Work Room	200	200	200	currently in open area; enclosed OK. Include spare cylinders storage existing =21x16. Includes FD equipment maintenance
F-3.7	Air Cascade Equipment Room	140	140	140	
F-3.8	Decontamination	120	120	120	15x15 footprint, +/-40' high, Keeping
F-3.9	Hose Drying/Training Tower	225	225	225	
F-3.10	Laundry	100	100	100	
	SUBTOTAL	1,330	1,330	1,330	
	Efficiency Factor	266	266	266	
	<b>TOTAL F-3</b>	<b>1,596</b>	<b>1,596</b>	<b>1,596</b>	

# Programmatic Needs Assessment

Fire Dep. Building Study  
Town of Wolfeboro, NH

LAVALLÉE|BRENSINGER ARCHITECTS

LBA Project no. 17-083-00

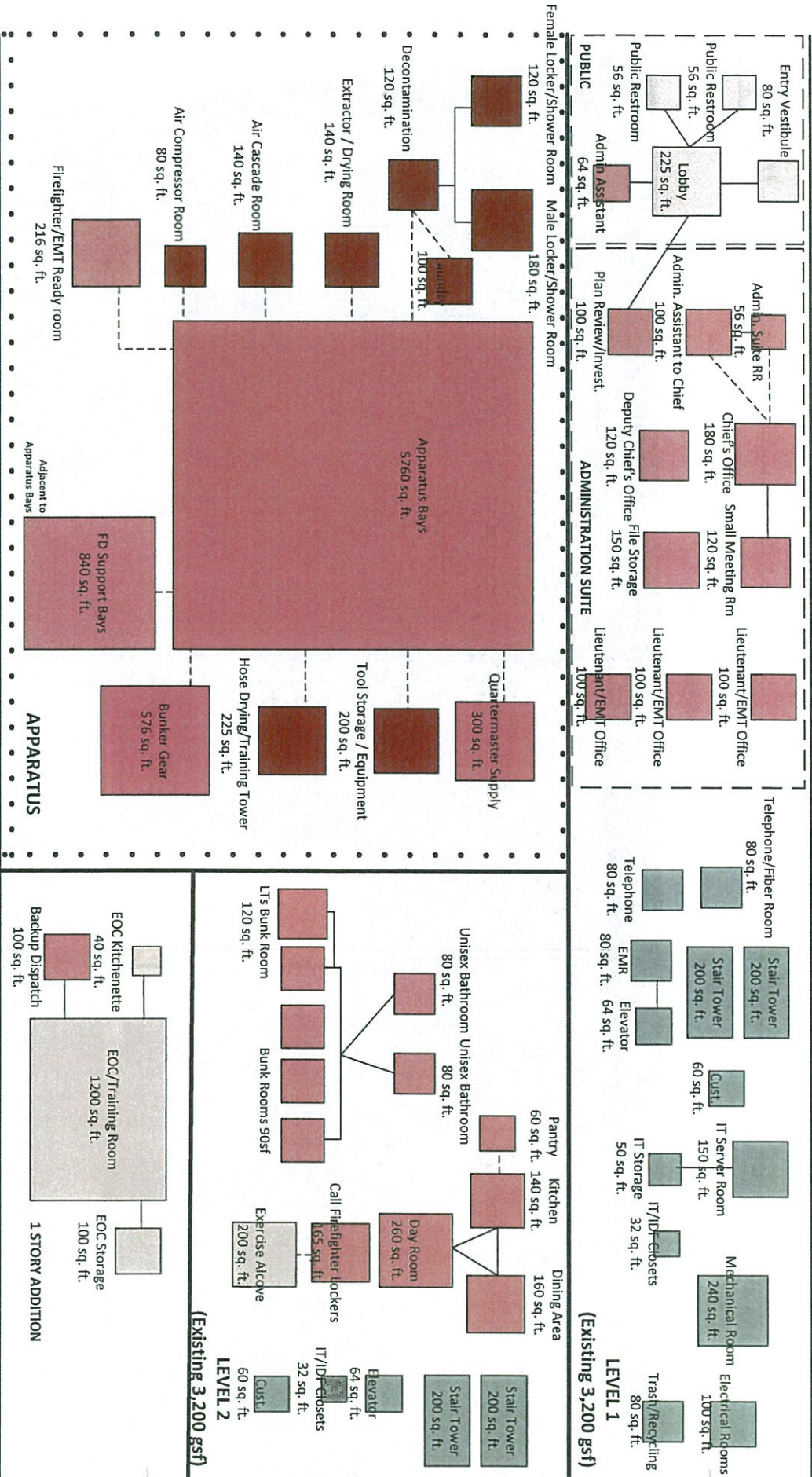
Updated Fire Dep. Program  
01/15/2021

Space ID Name  
S-1 Facility Support

Program Area  
LAVALLÉE|BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
S-1	Facility Support				
1-1.1	Trash/Recycling Storage	80	80	80	
1-1.2	Custodial Closet	60	60	60	
1-1.3	Mechanical Room	240	240	240	
1-1.4	Electrical Rooms @ 100 sf each	100	100	100	
1-1.5	Stair Towers @ 200 sf each	400	400	400	
1-1.6	Telephone	80	80	80	
1-1.7	IT Server Room	150	150	150	
1-1.8	IT Storage	50	50	50	
1-1.9	Telephone/Fiber Room	80	80	80	
1-1.10	IT/IDF Closets @ 32 sf each	32	32	32	
1-1.11	Elevator Machine Room	80	80	80	
1-1.12	Elevator	64	64	64	
	SUBTOTAL	1,416	1,416	1,416	
	Efficiency Factor 20%	283	283	283	
	TOTAL S-1	1,699	1,699	1,699	



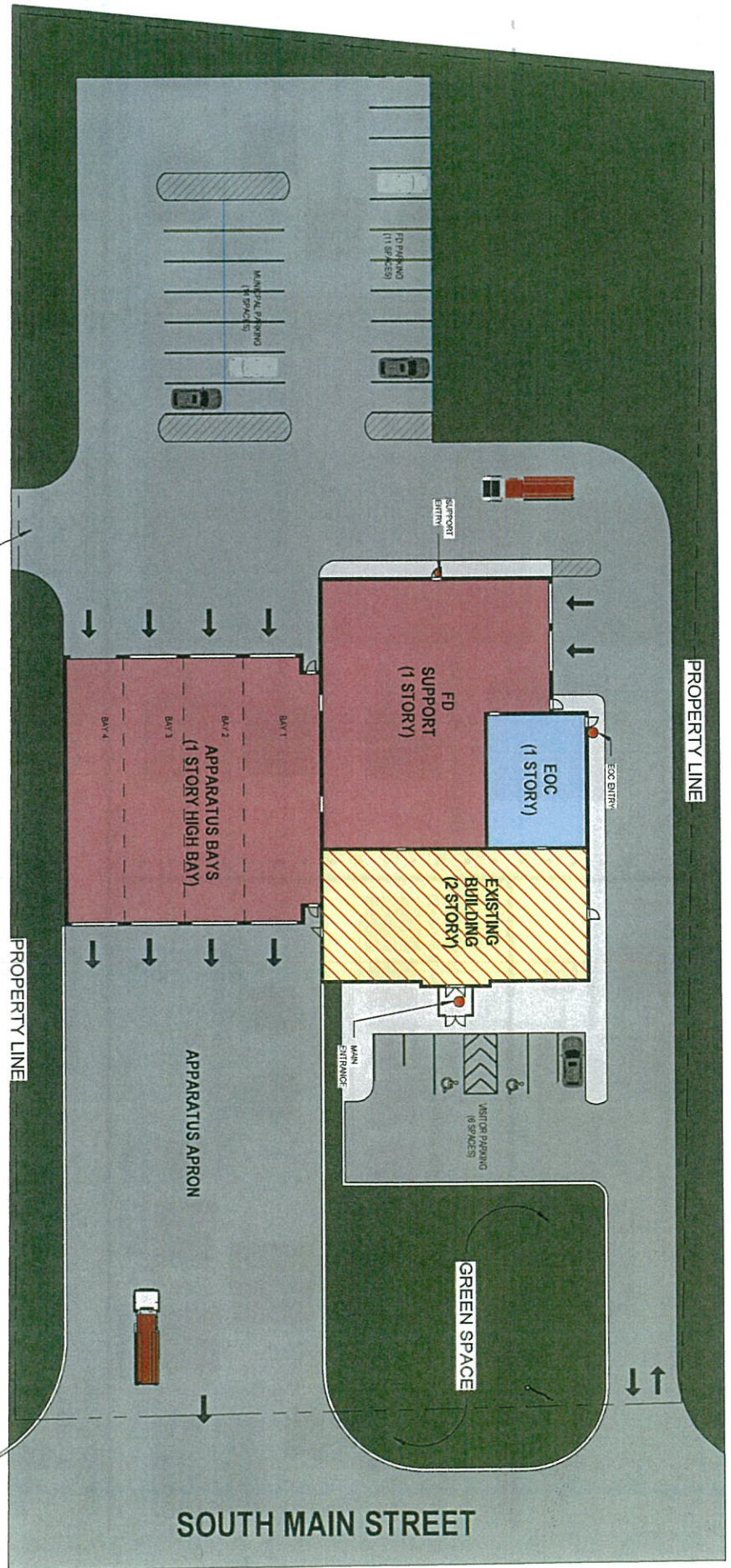


Town of Wolfboro – Main Fire Station  
Graphic Program  
01/29/21

Note – Graphic represents net square feet (NSF) and are reflected with a 25% multiplier in space program documents. For further breakdown of spaces refer to space program.

LAVALLÉE BRENSINGER ARCHITECTS





1 SITE TEST FIT  
 PRES-08 1" = 30'-0"

Town of Wolfeboro, NH  
 Fire Safety Building

SITE PLAN  
 SCALE: 1" = 30'-0"  
 03/30/21  
 LAVALLEE|BRENSINGER ARCHITECTS

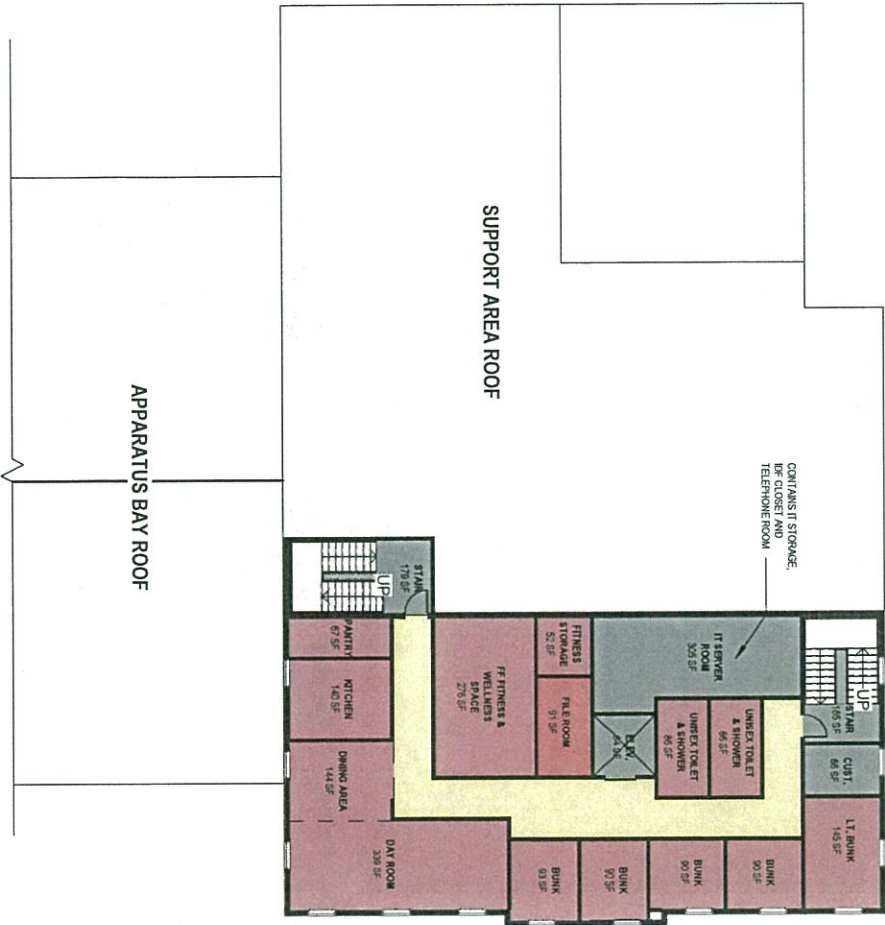


Town of Wolfeboro, NH

1	LEVEL 2
PRES-10	1/16" = 1'-0"

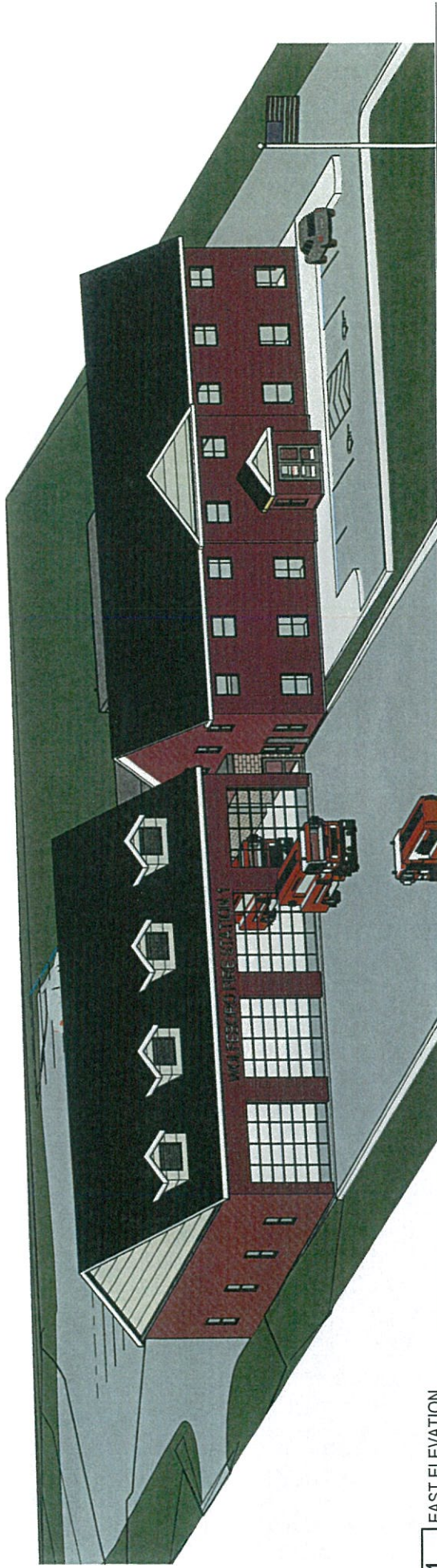
# Town of Wolfeboro, NH

Fire Safety Building



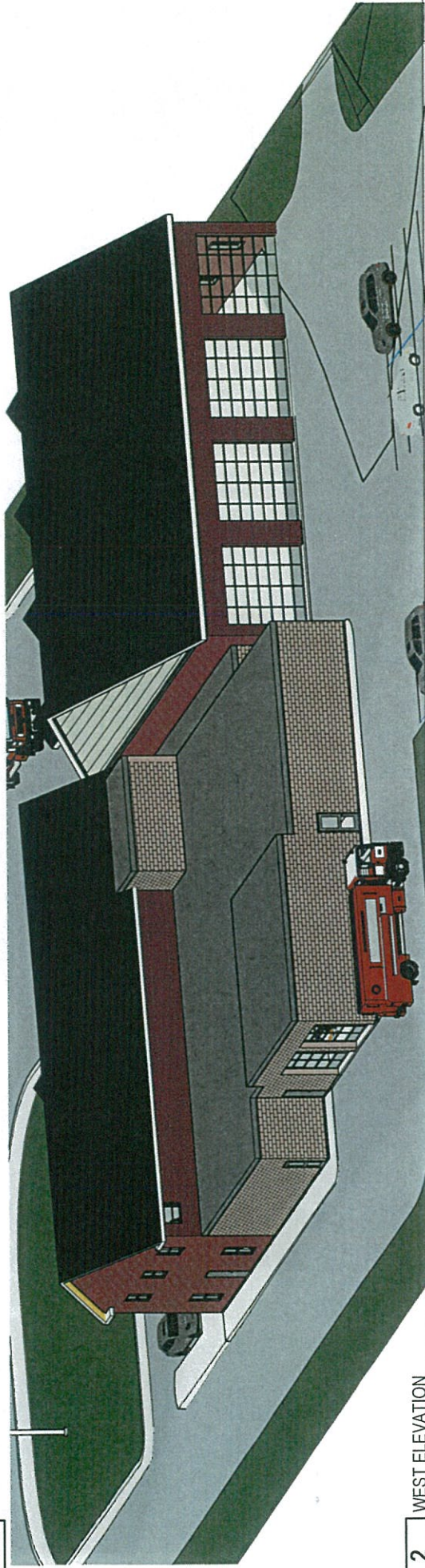
- Administration
- Building Support
- Circulation
- Common Spaces
- FD Support
- Fire Station





1 EAST ELEVATION

PRES-11



2 WEST ELEVATION

PRES-11

## Town of Wolfeboro, NH

Fire Safety Building

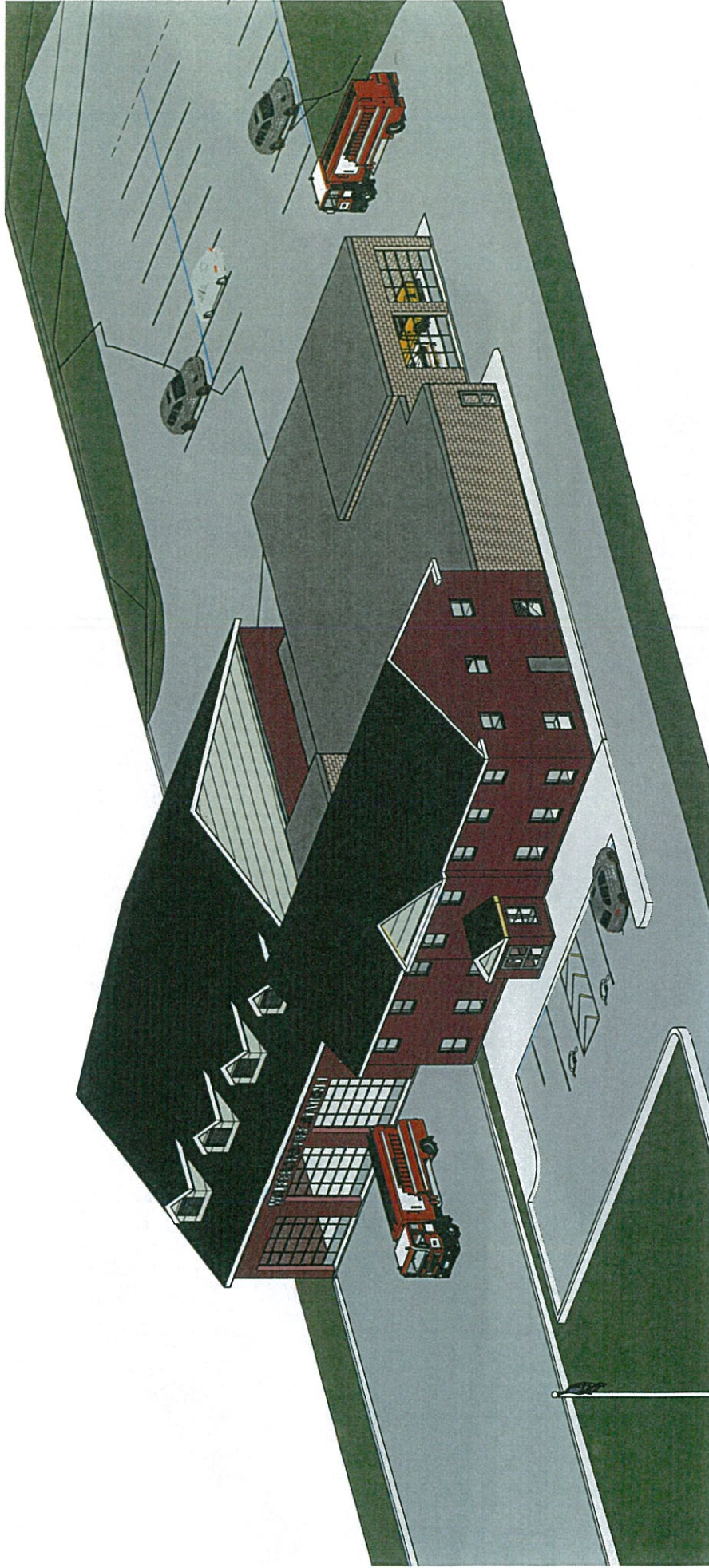
3D MASSING

SCALE:

03/30/21

LAVALLEE|BRENSINGER ARCHITECTS





1 NORTH EAST ELEVATION

PRES-12

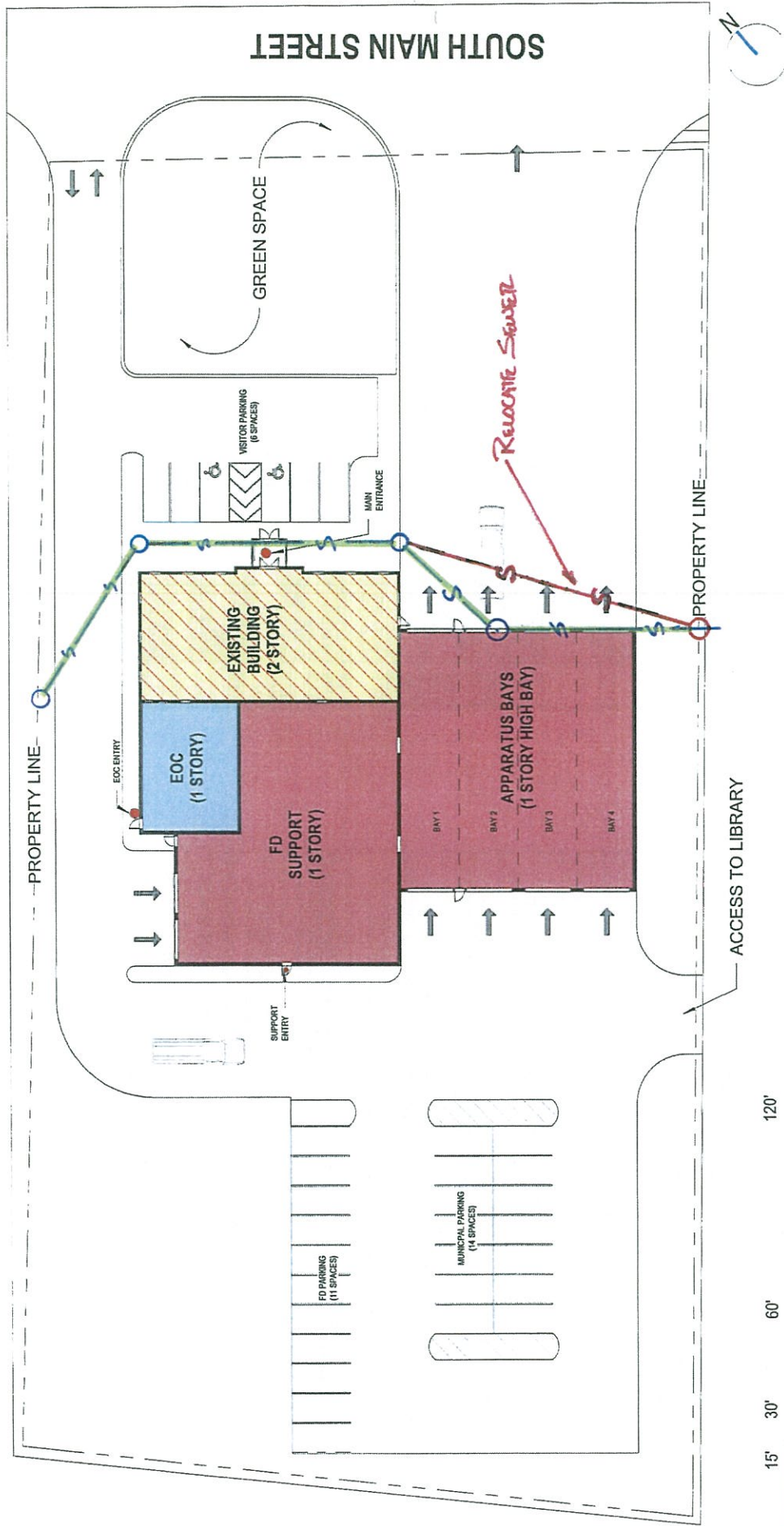
Town of Wolfeboro, NH

Fire Safety Building

SCALE: 03/30/21

3D MASSING

LAVALLEE|BRENSINGER ARCHITECTS



15' 30' 60' 120'

1 SITE TEST FIT

PRES-08 1" = 30'-0"

Town of Wolfeboro, NH

Fire Safety Building

SCALE: 1" = 30'-0"

SITE PLAN

LAVALLEE|BRENSINGER ARCHITECTS

03/17/21



Spec #	Topic	Comments
	Site Documentation (Due Diligence)	
	Land Survey	Update existing topography, tie-in-use same datum as library
	Environmental Assessment	Needed for building design? Subsurface conditions and groundwater anticipated based on reports from Town staff and adjacent work at library
	Geotechnical Investigations	
	Endangered species	I believe this was done for the library. Conditions should be similar at PSB
	Water flow test (Hydram Test)	
	Water quality test	
	Building Code, Permitting, Regulatory	
	Applicable codes	State of New Hampshire Building Code (RSA 155A), 2015 Editions effective September 15, 2019
		2015 International Building Code, with amendments
		2015 International Existing Building Code, with amendments
		2015 International Energy Code, with amendments
		2015 International Plumbing Code, with amendments
		2015 International Mechanical Code, with amendments
		2017 National Electrical Code, with amendments
		State of New Hampshire Fire Code - CHAPTER 156 - C-6000 STATE FIRE CODE Statutory Authority [Of particular interest the adoption of NFPA 101, The Life Safety Code and NFPA 1, The Fire Protection Code]
	LEED / Level of sustainability	N/A
	NHDOT	Driveway Permit by Town. Excavation permit for utility connections by contractor
	Town of Wolfboro	Planning Review (advisory status) during final design
	Use Classification	Business
	Construction Type	
	Insurance Requirements	
	BIM	
	Revol version	
	LOD	
	Management of model (Design, Bidding, CA, Construction)	
	Level 1 elevation (100' or Sea Level)	
	Building Envelope	
	Brick Veneer Wall system	4" Masonry (Brick) / 2" Cavity / 3" Rigid Insulation / Weatherbarrier System / 1/2" Gypsum Gass Board Sheathing / 6" Steel Stud (non-load bearing) / 5/8" Gypsum Wall Board / Paint Finish.
	Steel Panel Wall system	N/A
	Cement Board Siding / Drainage Plain / Furring / 3" Rigid Insulation / Weatherbarrier System / 1/2" Thick Gypsum Gass Board Sheathing / 6" Steel Stud (non-load bearing) / 5/8" Gypsum Wall Board / Paint Finish	
	Membrane Roof System	Single Ply Fully Adhered Roofing Membrane (TPO) / 1/2" Cover Board / 6" Rigid Insulation Board / 5/8" Gypsum Wall Board / Paint Finish
	Pitched roof system	Heavy Weight Architectural Grade Asphalt Shingles / Weather Barrier System / 5/8" Plywood Sheathing
	Roof top equipment screens	N/A
	Building Foundations and Superstructure	Poured in Place Concrete Foundation / Structural Steel Column, Beam and Girder System
	Traditional spread footings	Cut-in place shallow, spread and strip footings
	Steel framing	Hot rolled steel framing, 50 ksi yield, "W", "C" and "I" sections
	Isolated column grid size	Variable, 20' maximum span in office areas, 40' max. in apparatus bay
	Roof framing (GFI)	Open web steel joists with cold-formed steel deck on primary steel frame
	Roof framing (Pitched)	Open web steel joists with cold-formed steel deck, primary steel frame
	Live load	Vehicle: ASHTO HS-20. Office: 60 psf typical, 100 psf at file and storage areas
	Floor to floor heights	12' to 14', 16' clear high bay at vehicular bays
	Roof parapet	None

Spec #	Topic	Comments
	Future Expansion (Vertical/Horizontal)	N/A
	Special ground floor equipment loads	Apparatus Bay - Emergency & Fire Vehicles
	Sub on grade / concrete foundation walls	Grade supported floor slabs, Vehicular slab 8", Office 3"x3": 4"
	Joist/rafter framing	N/A
	Primary Frame Columns, Tube steel / W/F	NSS columns in office areas, Wide flange columns (W8, W10) in vehicular bays.
	Floor System: Composite Deck / W/F section	Composite framing, using 3/4" diameter headed studs welded thru the steel deck, 4" concrete on 2" deep, cold formed composite steel deck (6" total thickness), with WMF reinforcing framing
	Roof System: Metal roof deck, steel joist or WF beams	Cold-formed, wide rib steel roof deck. Open web joists at 5' 0" on centers.
	Suspended Roof Sub at mechanical equipment	Sim. To Floor System above.
	Roof top equipment screens	N/A
	Building Expansion joints	Separation of new from building to remain, separation of new office from apparatus bays.
	Window cleaning tie-offs	N/A
	Egress Stairs: Service quality steel w conc deck and glass rail.	
	General Conditions add 30 21.13 Instructions to Bidders	
	2004 CSI format	
	Division 00 - Procurement and Contracting Requirements	
00 72 00	General Conditions	
00 73 00	Supplemental Conditions	
	Division 01 - General Requirements	
01 00 00	General Requirements	Digital Documents
01 00 30	Electronic Media	TBD
01 21 20	Allowances	TBD
01 22 00	Unit prices	TBD
01 23 00	Alternates	TBD
01 37 21	Indoor air quality add 01 40 00 Quality Requirements and Special Inspections	YES
01 74 10	Construction waste management	TBD
01 78 00	Project Closeout / Record Documents	YES
01 78 10	Warranties	YES
	Division 02 - Existing Conditions	
02 32 10	Subsurface Explorations	
02 41 00	Demolition	Existing Safety Complex - Complete Existing Apparatus Bay / Partial Police & Fire Office Building / Interior partitions
	Division 03 - Concrete	
03 30 00	Cut-in Place Concrete	
	Footings	3000 psi, 3/4" aggregate (ASTM C33) normal weight, Portland cement (ASTM C150), AE.
	Admixtures in concrete	All entraining agent, water reducer, set retarder or accelerator, as required.
	Concrete Foundations	3000 psi, 3/4" aggregate (ASTM C33) normal weight, Portland cement (ASTM C150), AE.
	Concrete Slab on grade	4000 psi, 3/4" aggregate (ASTM C33) normal weight, Portland cement (ASTM C150).
	Under slab drainage system	Perforated PVC
	Vapor retarder	15 mil. Minimum thickness with taped joints. Vapor retarder by Stego Wrap or equal
	Perimeter insulation and drainage system	2" rigid (R-10) min Extruded Polystyrene Extended Vertically at Perimeter Foundation
	Under slab insulation	2" rigid (R-20) min Extruded Polystyrene
	Waterstops	N/A
	Entrance slabs	Pedestrian: 4" Thick - minimum Concrete. Vehicular: 8" Thick.
	Depressed entrance mat	1" Deep
	Elevator pit (with sump pit)	4' Deep



Basis of Design Summary

Spec #	Typical	Comments
	Concrete suspended slabs	6" total depth, 4000 psi concrete, 2" deep composite steel deck
	Concrete MEP/FP equipment pads	6" grade supported slab with 18" launched perimeter
	Cast concrete ramp / stairs	N/A
	Concrete filled stair pans	YES/ 4" wide-min.
	Concrete masonry walls	N/A
	Exterior cast in place conc. Slabs/ramps	N/A
	CMU partitions	8" non load-bearing CMU, horizontal joint reinf. #4 @ 48 vert.
	Light pole base	Precast 30" Dia. X 6' - 24" Exposure Above Finish Grade
03 45 00	Loading Dock	N/A
03 54 00	Architectural Precast Concrete	N/A
03 54 00	Cast Underlayment	N/A
04 20 00	Division 04 - Masonry	N/A
	CMU	ASTM C129 (non load bearing)
	Reinforcing, ties, anchors, flashing, weeps	Standard Stry/ Squire Weathering/ Rod with Flash
04 40 00	Natural Thin stone veneer system	Post-Tite Ties/ Stainless Steel Rigid Drip Flashing/ Vertical Cellular Weeps/ Top of Cavity Cellular Weeps
04 73 00	Manufactured stone masonry	N/A
	Division 05 - Metals	TBD
05 12 00	Structural steel framing	ASTM A992 (I, W, sections), ASTM A36 (I, W, and C" sections plates), ASTM A500 (HSS)
05 21 00	Steel Joist Framing	Steel joist Institute, K, and JH series
05 31 00	Steel Decking	Roof: 1.5" deep, 20 gauge wide rib 96" deck. Floor: 2" deep, 20 gauge composite deck
05 40 00	Cold Formed Metal Framing	6" - 16 Gauge min. Galvanized Steel Stud Exterior Wall Framing
05 50 00	Metal Fabrication	Overhead Vehicle Door Frames/ Equipment Supports/ Exterior Concrete Sillway Abrasive Resistant
	Isolate levels	Gravel and frame over elevator sump/ Grating covers over trench drains in vehicle bays
	Elevator pit supports, pit covers, grating.	Grate and frame over elevator sump/ Grating covers over trench drains in vehicle bays
	Stairs	Rebarbed located each side of all Vehicle Door Openings/ Protective bollards around site
	Bollards at Vehicle Bay Doors	Manufactured Equipment and Tanks
	Trench drain assemblies	Fire Apparatus Bay
	MILC, steel angles, plates	ASTM A36
	Exterior and wall location components but disused adjacent	All Exterior Steel Exposed to Elements/ Paint Finish
	Window cleaning tie-offs	N/A
	Folding partitions	N/A
	Ceiling hung partitions	TBD
05 51 00	Meat Spares	Steel Channel & Angle Framing/ Steel Box Concrete Fill/ Painted
	Steel Ladders Fabrications	Roof Hatch Ladder/ Elevator Pit Ladder
	Handrails and guardrails	1.5" Dia Tubular Handrails & Guardrails/ 1/2" Round Picket Guard rail
	Ornamental stairs in lobby	TBD
	Division 06 - Wood, Plastics, and Composites	N/A
06 10 00	Rough carpentry	Dimensional Sawn Lumber SPF #2 typically. Interior and Window Head/Jamb/ Pressure Treated Blocking - Wet Locations. Structural Composite Lumber for girders and posts (LVL, PS).
	Wood blocking	Interior Walls- Fire Treated
06 10 54	Wood blocking and cabling	2x Pressure Treated Blocking at Roof Edge Perimeters
06 17 53	Shop Fabricated wood trusses	N/A
06 20 00	Finish Carpentry and Arch Millwork	Custom
	AWI Grade	TBD
	Painted wood	TBD
	Wood for translucent finish	TBD
	Solid surface window sills	Exterior Windows

Basis of Design Summary

Spec #	Typical	Comments
	Counter supports	Angular Metal Brackets/ Undercounter Cabinet
06 41 00	Arch Wood Casework	Vertical and Horizontal Grade Level Plastic Laminate Finish/ MDO Panel Core- Phenolaldehyde free
	AWI Grade	Curtain
	Cabinets, drawer, aprons, valances	TBD
	Custom reception desks	Reception Window
	Wall mounted cabinets	Mail Room/ Break Room/ Kitchenette
	Wood blocking at door stops	N/A
	Hardware	Commercial Grade B Notched/ Integrated Security Access Sash
	Cabinet door hinges	European Style
	Door pulls	4" Wire Style
	Drawer slides	Back of Office & Breakroom Doors
	Coat hooks	TBD
06 42 16	Wood Veneer Paneling	Division 07 - Thermal and Moisture Protection
07 11 13	Bluminous Dampproofing	Applied to Structural Steel Below and Embedded in Concrete
07 14 00	Waterproofing	Elevator Pit - Liquid Applied Interior Face
07 21 00	Thermal insulation	2 1/2" Batt in all interior wall studs - full height
	Batt acoustic insulation (interior walls)	3" (R-18) min. Rigid Insynpurate Board- Two Equal Layers
	Rigid cavity wall insulation	6" (R-36) min. Rigid Insynpurate Board- Two Equal Layers Min.
	Rigid roof insulation	Full Coverage
	Underlayment (ceiling)	TBD
07 31 19	Formed in place insulation	N/A
07 34 00	Excess insulation and finish systems (EPS)	Sheet 40mil minimum
07 35 00	Weather barrier system (sheet)	Heavy Weight Architectural Grade Asphalt Shingle
07 31 13	Asphalt Shingles	N/A
07 41 13	Metal Roof Panels	N/A
07 42 13	Metal Wall Panels	N/A
07 42 14	Insulated Metal Wall Panel	N/A
07 42 64	Metal Composite Material Wall Panel	TBD
07 46 46	Fiber Cement Siding	4" Exposure Clapboards and Corner Boards
07 54 00	Thermoplastic Membrane Roofing (TPO)	60mil Adhered
	Polyisocyanurate roof insulation	6" (R-36) min. in two Equal Layers w/ 1/2" coverboard (Assumes Pitched Structure to Drain)
07 62 00	Deck underlayment	1/2" Thick Deck Board
07 72 00	Sheet Metal Flashing and Trim	TBD
07 72 00	Roof Accessories	Roof Hatch Ladder Access with Safety Railing & Post-up
07 81 00	Applied Fireproofing	N/A
07 81 23	Insulating Mask Fireproofing	N/A
07 84 00	Firestripping	Fire Sealant/ Caulk/ Fiberglass
07 90 05	Joint Sealers	Silicone
07 95 13	Expansion Joint Covers	2" Joint between Existing Wood Frame Structure and New Construction
08 11 13	Division 08 - Openings	
	Hollow metal doors and frames	Exterior Frames - 14 Gauge Extra Heavy Duty HD Galvanized Seamless (Fully Welded Joints Ground Smooth) - Thermal Broken
	Hollow metal doors and frames/ Exterior	Gauge Extra Heavy Duty Galvanized Seamless With Bonded Rigid ISO-Board Insulation Core
	Hollow metal doors and frames/ Interior	Frames - 16 Gauge Heavy Duty Seamless (Fully Welded Joints Ground Smooth. - 1/2" Gasket, Heavy Duty - Rigid Interlock Core
	Doors	



Spec #	Topic	Comments
0814 16	Flush Wood Doors	1-3/4" Thick 5-Ply Solid Core - 32 FSF Density Partial Board or Mineral Core, Architectural Wood Clear Finish Wood Veneer, Lifetime Warrantee
0831 00	Access Doors and Panels	Misc. Locations Rebuilt With NEP Systems
0833 23	Overhead Ceiling Doors	2" Steel Thermal Insulated/ Painted
0833 23	Overhead Sectional Doors	2" Steel Thermal Insulated/ Vision Windows/ Painted
0842 29	Automatic entrances	HC Entry Doorways - Main Entrance/ Vestibule
0843 13	Alum. Framed Storefronts & Doors	2-1/2" x 4 1/2" Wide, High Energy Efficiency Thermal Broken Storefront - Main Entrance/ Vestibule
0844 13		
0851 13	Fiberglass Windows (Fixed & Operable)	3-1/2" min. Fiberglass pultruded Frame, Completely Polyurethane Foam Insulation Filled, Reinforced Molded Mitered Corners/ CSA A440, AAMA and NFRC Tested and Rated/Custom Color Selection/ 7/8" Sealed Double Glazed Glass Unit with 5/8" min. Argon Filled Air Space.
0871 00	Door Hardware	Commercial Grade 1 (Heavy Duty) Mortised Lever Door Hardware/ Egress Door Panic Hardware/ Integrated Electronic Proximity Card Reader.
0871 00	Door Control Hardware	Electronic Commercial Grade 1 (Heavy Duty) Mortised Lever Door Hardware with Integrated Proximity Card Scan Access Control.
0880 00	Glazing	1" Thick High Performance Low E Glass/ Egress Door Hardware with INAC
0891 00	Lowers	Architectural lowers - Anodized Alum with Inset Screen Coordinated with HVAC
0905 61	Floor Preparation	Moisture Barrier System Applied on Concrete with Sheet & Carpet Tie
0921 16	Gypsum Board Assemblies	Board - 5/8" FR GWA/ 1/2" Fiberglass-Cement board Sheathing/ 5/8" Cement Board @ Tiles/ Shaftwall Mold & Moisture Resistant
		Misc. Materials - Metal Corner & Casing Board Trim/ Tape/ Compound.
		Ceilings - Booked & Intake Spaces - 1/2" Gypsum Wall Board over Plywood suspended.
		Interior Steel Stud Framing - 3-5/8" Wide, 18 Gauge min. - Miscellaneous Framing.
0930 00	Typical acoustical partition	5/8" GWA-Painted/ 3/8" Steel Stud/ 2 1/2" Acoustic Fiberglass Batt
	Tiling	Floor - Architectural Grade 12" x 12" min. Porcelain Tile/ Tile Thin Set Mortar Bed/ Epoxy Mortar Joint
0951 00	Acoustical Ceilings	Wall - Glazed Porcelain 4" x 12" Later-Portland Cement Grout.
0965 66	Resilient Flooring	2' x 2", Tegular, High HRC 0.07 min., 1/4" 0.90 min. Light Reflectance/ 15/16" Grid Suspension
0965 66	Resilient Athletic Flooring	Rubber Sheet/ Rubber Tile/ Rubber Treads & Tile Landing @ Toilet Rooms
0968 00	Carpeting (Title)	Rubber Tile - 3/8" thickness x 27" Square Tile
		General - Tufted Construction, Multi-Toned Colored Loop, 100% Solution Dyed, Reinforced Polyester Custom Backing.
	Typical Flooring Finishes Schedule	
	Lobby	Walk-off Tile Carpet
	Waiting	Carpet Tie
	Domitory	Carpet Tie
	Office / Meeting Rm / EOC	Carpet Tie
	Storage room	Resilient Sheet
	Toilet room	Tile
	Corridors	Carpet Tie
	Public stairs	Resilient Rubber
	Egress stairs	Resilient Rubber
0972 00	Wall Coverings	Vinyl Protection Sheet - 4" High in Corridors
0977 70	Interior Wood Wall Panels	Laminate Covered/ MDO Core/PVC & Mitral Edging/Clip Anchored/ Lobby Location
0984 00	Acoustic Wall Treatment	TBD
0991 13	Exterior Painting	Enamel - 3 Coats
0991 23	Interior Painting	Latex - 3 Coats
	Division 10 - Spectacles	

Spec #	Topic	Comments
1011 01	Visual display boards	Marker Board - One (1) per Conference & Meeting room (4' x 6') One (1) - 4' x 8' in the EOC Room
1014 24	Interior signage	One Each Room
1021 13	Toilet Room Compartments	Recycled Plastic Stall Partitions with Stainless Steel Fittings and Door Hook
1022 26	Folding Panel Partitions	
1026 01	Wall and corner guards	48" High Wall Protection all Corridors/ 48" High Corner Guards all Corridor Outside Corners
1028 00	Toilet Accessories	
	Toilet Paper Dispenser	One per Each Toilet
	Hand towel Dispenser	One per Each Toilet Room
	Soap Dispenser	Deck Mount each unit
	Grab bars	HC Toilets - Stainless Steel - back/ Side/ Vertical - Each Toilet
	Mirrors	30" x 42" Stainless Steel Chained Trim each Sink
	Shower curtain rods	Four (4) - One Each
	Utility hooks	One (1) Each Shower Stall
	Robe hooks	One (1) Each Office on Back of Door
	Trash receptacles	One (1) Each Women's Toilet Stall
	Wardin Disposal receptacles	Two (2) - One Each Public Toilet Room
1044 13	Baby changing stations	Recessed Fire Extinguisher Cabinet - Extinguisher + Monitoring System
1051 00	Lockers	Plastic Laminate - Personal - 12" x 12" x 12" Single Tier - 10 Shelf
1075 00	Flagpoles	Aluminum Pole - tapered/ Internal Halyard with Locking Cover/ Swivel Top/ 2 Poles at 25' Tall/ 1 Pole at 30' Tall
1152 13	Projection screens	8' x 12' in EOC Room
1221 16	Vertical Lower Blinds	N/A
1224 00	Window Roller Shade System	5% Transmittance/ Fabric/ Manual Chain Control/ All Exterior Windows
1332 00	Wood Casework	N/A
1336 00	Countertops	Solid Surface - Public lobby Reception Windows
1348 11	Entrance floor mats and frames	100% Mic. Countertops/ Marine Plywood all Counter Tops with Sinks
1793 13	Bicycle Rack	1" recessed Walk off Mat - Removable
	Artwork	TBD
	Division 19 - Special Construction	
	Division 14 - Conveying Equip	
	Passenger Elevator	One (1) - 3000# Capacity, Machine Roomless/ Electric
	Sprinkler Water Service	Fully Sprinklered, NFPA-13 compliant wet sprinkler system.
	Fire pump	TBD, flow Test Required.
	Sprinkler head type	Wet in all heated spaces. Dry in cold attic spaces.
	Sprinkler head location	Concealed pendant or exposed pendant with guard.
	Fire suppression system	Ceiling or exposed
	Fire pump	See above
	Standpipes	See above
	Water shut offs	None.
	Materials	OS&Y gate w/ Tamper, Wilkins (or equal) DCOA.
	Proposed manufactures	Schedule 40 steel with grooved fittings.
	Division 22 - Planting	Two, Vitaculic Potter, Viking, AGF
	Domestic Water Service	Edd to remain. Rework exist. FD meter & exist. PD Meter.
	Domestic Water Heating Systems	New LP Gas high efficiency heater, HTP Phoenix 119.



Spec #	Item	Comments
	Domestic Water Distribution Systems	Type I Hard Copper, hot water, cold water, full recirculation. Fully insulated 1".
	Sanitary Drainage and Venting Systems	Sch. 40 Cast Iron.
	Storm Water Drainage Systems	Sch. 40 Cast Iron.
	Roof Drainage	Sch. 40 Cast Iron.
	Cropper drainage	TBD
	Special Drainage and Venting Systems	Sand/oil interceptor, heavy duty trench drains @ each bay door.
	Prepares or Natural Gas Systems	(2) 1000 Gall. Above ground LP Gas tanks.
	Reverse-Osmosis (RO) Water Systems	N/A
	Plumbing Fixtures	ADA where applicable.
	Handwashing sinks (Stiff Toilet - multi-user)	Wall mount or countertop lavs. Manual wristblade faucets. PVC guards on all exposed traps.
	Handwashing sinks (Public Toilet - single occupancy)	Wall mount or countertop lavs. Manual wristblade faucets. PVC guards on all exposed traps.
	Toilet (Public, single occupancy)	Floor mount toilet with manual 1.28 gal/flush valve. ADA where applicable.
	Toilet (Public, multi-user occupancy)	Floor mount toilet with manual 1.28 gal/flush valve. ADA where applicable.
	Urinal (Public Toilet, multi-user occupancy)	Wall mount with manual 1/8 gal/flush valve
	Shower unit	ADA (floorglass insert with center drain on collapsible dam. ADA valve and head assembly.
	Eyewash station	Shower/eyewash combination with tempering valve in each apparatus bay.
	HY-mop sink	One min. - Each Floor Level
	Drinking fountains / water bottle filler	One min. - Each Floor Level
	Division 23 - Heating, Ventilating, and Air Conditioning (HVAC)	
	Design degree criteria	IMC 2009 + NH Amendments.
	Fuel source options	Electric heat pump, LP fired makeup air unit, and infrared heaters.
	Primary Heating Systems	Hydronic heat with LP Gas fired boiler, FM tube radiation in offices with supplemental heat pump for heating or cooling. (2) 650 MBH boilers. 75 GPM/HW Pumps.
	Perimeter heat preference	Baseboard radiation.
	Primary Cooling Systems	18 Ton Heat Pump technology, Mitsubishi Y-Series.
	Hydronic Distribution Systems	Direct return
	Humidification Systems and Distribution	None.
	Air Handling Systems	Static core energy recovery unit ducted to fan coils.
	Special Air Handling Systems	Vehicle bay - gas free makeup air unit, Greenheck IGX.
	General Exhaust Systems	Static core energy recovery unit
	Special Exhaust Systems	Pharmaceutical exhaust with hoses and traps.
	Air Distribution Systems	Fully ducted supply, return and exhaust systems. All air conditioning and above ceiling duct to be fully insulated.
	Local Terminal Equipment and Systems	Frame unit heaters, Cab heaters. Price grilles, registers and diffusers. Greenheck louvers.
	Piping Materials	Type I Hard Copper, fully insulated 1 1/2" up to 3", 2" on 2" and up.
	Duct Materials	SMACNA
	Proposed Manufacturers	Trane, Teco, Greenheck
	Division 25 - Integrated Automation	
	Automatic Temperature controls	Yes, new DDC system with touch and controller equal to Trane Tracer.
	HVAC Zoning	Central cooling control (11 units) with individually zones for heating in each space. Use spaces min. bin island in a heating zone.
	Division 26 - Electrical	
	Electrical company / designation	Wolfboro Light and Power
	Normal Electrical Service	1200 amperes at 120/208 volts, three phase, four wire

Spec #	Item	Comments
	Pad mount transformer (utility)	Pad preferred, but Utility may opt for a pole-mounted solution
	Generator - Standby	250 KW, Sound Attenuated Diesel, 48HR fuel supply, outdoor pad mounted
	Electrical equipment	1200 ampere MDP, 1200 ampere SE Rated Transfer Switch and subpanels.
	Grounding	Building Steel, Service, Water Piping, Rebar and Telecom Ground Bars
	Lighting Protection	Faraday Cage, roof mounted air terminals in accordance with NFPA 780
	Wiring Methods	Conductors in conduit for exposed work, MC cable for concealed in non-crawl walls
	Lighting and Controls	Localized Digital Controls, sensors and TOD Relay Panel
	Lighting	LED only
	Office	2x2 Lay in Volumetric, 3000 lumen
	Waiting / Public corridors	2x2 Lay in Volumetric, 3000 lumen
	Toilet Rooms	Over mirror linear product plus a fms downlight
	Building mounted	LED wall packs and area lights, photocell controlled
	Parking lot	LED Area Lights on 20 foot poles, photocell controlled
	Lighting and Controls	Localized Digital Controls, sensors and TOD Relay Panel
	Photovoltaic Collectors	TBD
	Division 27 - Communications	
	Main Data Room	Per TIA Standards
	Data Room (per floor)	Per TIA Standards
	IT Raceway/Pathway	Wire Basket Tray above accessible ceilings, CAT 6 cabling, Jacks and Patch Panel for plug and play. Four data drops minimum per office, 2 each on adjacent walls
	Voice Communications	TBD, but cabled with Data systems
	Cable TV	RG6 cabling to sleeping, dayrooms and dispatch
	Wireless network	TBD, but cabled with Data systems
	Overhead Paging system	TBD, but interfaced with Dispatch and Call system
	AV Systems / requirements / Infrastructure	Day Room, EOC Room and Conference Room. Interfaced with Data
	Waiting Rms / USE port - Phone	Power Receptacles with USB phone chargers
	Employee Time Clock	TBD
	Division 28 - Electronic Safety and Security	
	Security	TBD
	Card access - doors	See Hardware
	Video surveillance (interior & exterior)	TBD
	Fire Alarm System	Addressable with Horn/Scrope Notification Signals.
	Division 31 - Earthwork	
	Specifications	Allowance for Geotech Field Testing (concrete, pavement, aggregates, stormwater infiltration area)
	Testing	Prepare Erosion Control and Stormwater Pollution Prevention Plan
	Erosion Control	Note that the intent is for the existing pavement and gravel cross section to be replaced. Since it is a smaller area, and there are two different pavement cross sections, and because of reports of moisture susceptible subgrade materials, the plan is to excavate the existing materials and replace with gravel meeting NHDOT specifications. If the moisture sensitive materials were removed, reclaiming could be allowed in lieu of crushed gravel, but the small area may not be economical/practical for the contractor (mobilization costs and set up vs. area to be reclaimed). Building phasing sequences may also make reclaiming impractical. A similar approach of boring out and replacing the cross section gravel was employed for recent upgrades at the abutting Library site.
	Site Clearing	Small trees (under 24" diameter)
	Testing	
	Site Clearing	
	Earth Moving add'l 31 23 15 building Pad	
	Earthwork, based on Geotech report	



Spec #	Typical	Comments
		<b>Basis of Design Summary</b>
	Crushed Gravel	NHDOT 304.3 or 304.4 (Option 1 - may substitute reclaimed asphalt)
	Bank Run Gravel	NHDOT 304.2 or 304.5
	Division 32 - Exterior Improvements	
	Site Design Elements	
	Solar orientation	
	Views to natural entry drive	
	Parking (Per zoning, min. site)	9'W x 19' L (or length can be reduced to 17' if vehicle overhangs a turf area)
	Parking (Per zoning, min. site)	
	Public transportation / bus access	
	Patient drop off	
	Patient / Staff entrance	
	Service area / loading dock requirements	N/A
	Fire Vehicle Entrance	Check turn radii for fire trucks.
	Snow removal	
	Future expansion (parking and building)	
32.12.00	Flexible Paving Surface (Asphalt)	Heavy Duty pavement in Equipment Bay Apron Area and driveway aisles for truck route to Apparatus Bays
	Heavy Duty Pavement Section	3 lifts NHDOT Superpave (2.25" 19MM Binder, 1.5" 12 MM Wearing, 1.25" 9.5 MM Wearing)
	Regular Pavement Section	2 lifts NHDOT Superpave (2.25" 19MM Binder, 1.25" 9.5 MM Wearing)
	Sidewalks	3" asphalt w. 18" crushed gravel in NHOT ROW (Town Standard)
32.13.00	Parking lot islands	Turf (4" loam and seed w. mulch and tackifier)
	Rigid Paving (Concrete)	Internal site areas
	Sidewalks	4" depth X 5 VI (6" depth at curb ramp areas)
32.14.00	Parking lot islands	Interpaved pavement (rear of building)
32.16.00	Unit Paving	Concrete sidewalks are called out above. If sidewalks are concrete, there should be granite curb to protect from plows and salt and also consistency with other Town buildings.
	Curbs, Sidewalks, Driveways	
	Curbing (material & type)	
	Curbing at patient drop off	
	Sidewalks (materials, width, fill material)	
32.17.13	Parking bumpers	
32.17.23	Parking markings	Thermoplastic pavement markings for cross walk areas, Retroreflective Paint (white) at other areas (parking spaces, etc.)
32.17.23	Pavement Snow Melting system	
32.31.00	Fences and Gates	
32.32.00	Retaining Walls	
32.33.00	Site Furnishings	
	Site Bicycle rack	
	Site trash receptacles	
	Site manufactured planters	
	Site seating and tables	
	Flagpole	See Architectural Division 10 - Section 10.75.00
32.39.00	Site Specialties	
	Metal Ballards	
	Trash compactor / dumpster	Dumpster
32.80.00	Irrigation system/ Components?	
32.90.00	Parking Pile, Soil Prep, Stabilization	
32.92.00	Turf and Grasses	Remaining non paved areas
32.93.00	Plants	TBD - Stormwater Management Areas

Spec #	Typical	Comments
		<b>Basis of Design Summary</b>
	Ground cover	
	Plants and Bulbs	
	Shrubs	
	Trees	
33.00.00	Utilities	
33.14.00	Water Utility Transmission & Distribution	Match existing waterline size (4") unless fire flow demands require increase. Replace to drive 8000 W. 8000 Dgals. 8000 GPM.
33.16.00	Water Utility Storage Tanks	Piping, valves, endowments
33.19.00	Water Utility Metering Equipment	Water Utility Metering Equipment
33.30.00	Fire Department Connection	4" to match existing (unless determined otherwise per above)
	Sanitary Piping Equipment	Relocate 8" PVC as shown
	Manholes	4" Diameter Concrete
33.40.00	Stormwater Utilities	
33.41.00	Subdrainage	6" CPOT for groundwater and poor soils in parking/havement areas
	Foundation drainage	
	Retaining wall drainage	
33.42.00	Stormwater Conveyance	12" HDPE corrugated pipe, smooth interior, 8" Diameter Catch Basin (NHOT Type B)
33.44.00	Stormwater Utilin Equipment	
33.46.00	Stormwater Management	Relinquish Shoreline Protection areas for other TBU - depressed area 2' below F6, plantings, 4" mulch 18" lbs inside, 12" crushed stone, 6" CPOT perforated, drainout.
	Detention ponds, retention ponds	
	Fire Protection ponds	
33.70.00	Cooling tower ponds	
	Electrical Poles	
	Electrical u/g ductbanks, manholes	
33.71.26	Transmission and Distribution Equip	
33.73.00	Utility Transformer	
	Generator	
33.80.00	Communications Utilities	
	Transmission and Distribution	
33.83.00	Wireless Com. Trunks & Distribution	
33.82.00	Underground Gas Utility	
34.40.00	Transportation Signaling & Control Equip	
	Site signage/wayfinding	
	Traffic Signage	
	Site lighting (light poles, pedestrian walkway)	
	Emergency pull stations	
	Security cameras	
	Vehicular guardrails (material)	

**TOWN OF WOLFEBORO - MAIN FIRE STATION ON THE EXISTING PSB SITE**  
**Addition/Renovation 18,297 s.f. - Conceptual Budget**

March 29, 2021

Project budget is based on anticipated construction costs for mid-2022.  
 Construction industry pricing remains volatile due to material shortages and shipment delays.  
 Historical escalation has averaged 3-6% per year, however most markets have seen 20-40% price increases since 2019.

TOWN OF WOLFEBORO - MAIN FIRE STATION ON THE EXISTING PSB SITE			
Addition/Renovation 18,297 s.f. - Conceptual Budget			
March 29, 2021			
<b>SITE DEVELOPMENT:</b>			
Mobilization, erosion control, clean-up	\$	910,000	\$ 49.73 psf
Unsuitable material removal/replacement	\$	45,000	\$ 2.46 psf
Site demolition, cuts/fills	\$	30,000	\$ 1.64 psf
Excavation, backfill for structure, slab preparation	\$	105,000	\$ 5.74 psf
Utilities and drainage. Water and sewer lines relocated and reused	\$	125,000	\$ 6.83 psf
Pavement, markings, hardscape, sidewalks, signage, bollards	\$	280,000	\$ 15.30 psf
Landscaping, benches, bike racks	\$	300,000	\$ 16.40 psf
	\$	25,000	\$ 1.37 psf
<b>DEMO OF EXISTING STRUCTURES/INTERIOR SELECTIVE DEMO:</b>			
	\$	145,000	\$ 7.92 psf
<b>RENOVATION/ADDITION CONSTRUCTION: 18,297 sf</b>			
Structure and foundation, including masonry walls	\$	5,258,000	\$ 287.37 psf
Thermal and moisture protection	\$	1,375,000	\$ 75.15 psf
Doors and windows	\$	400,000	\$ 21.86 psf
Finishes and millwork	\$	195,000	\$ 10.66 psf
Specialties (i.e.) lockers, fire extinguishers, bathroom accessories, etc.	\$	520,000	\$ 28.42 psf
Elevator	\$	60,000	\$ 3.28 psf
Mechanical systems and fire protection	\$	88,000	\$ 4.81 psf
Electrical and security systems	\$	1,375,000	\$ 75.15 psf
CM general conditions and fee	\$	545,000	\$ 29.79 psf
	\$	700,000	\$ 38.26 psf
<b>HARD CONSTRUCTION COST SUBTOTAL:</b>	<b>\$</b>	<b>6,313,000</b>	<b>\$ 345.03 psf</b>
<b>DESIGN AND CONSTRUCTION CONTINGENCY 10%:</b>	<b>\$</b>	<b>631,300</b>	<b>\$ 34.50 psf</b>
<b>SOFT COSTS 16% OF HARD COSTS:</b>	<b>\$</b>	<b>1,010,080</b>	<b>\$ 55.20 psf</b>
<b>ADDITIONAL COSTS NOT INCLUDED:</b>			
Relocate and/or purchase dispatch equipment			
Existing building abatement and testing			
Fire department equipment (i.e.) hose drying racks, fitness equipment, etc.			
PPE laundry equipment/extractors			
Communication radio system and equipment			
<b>TOTAL PROJECT HARD AND SOFT COSTS:</b>	<b>\$</b>	<b>7,954,380</b>	<b>\$ 434.74 psf</b>







# Space Program



Programmatic Needs Assessment

Fire Dep. Sub Station Study  
Town of Wolfeboro, NH

LAVALLEE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Fire Dep. Sub Station Program  
01/26/2021

Executive Summary

LAVALLEE|BRENSINGER ARCHITECTS

Space Designation		Space Need				Notes
No.	Function	Reference	2021 (current need)	2025	2035	
COMMON SPACES						
C-1	Common Spaces	614	1,094	1,094	1,094	
	COMMON TOTAL	614	1,094	1,094	1,094	
FIRE DEPARTMENT						
F-1	Fire Administration	0	0	0	0	
F-2	Fire Station	3,802	3,118	3,118	3,118	
F-3	FD Departmental Support	672	0	0	0	
	FIRE TOTAL	4,474	3,118	3,118	3,118	
BUILDING SUPPORT						
S-1	Facility Support	672	780	780	780	
	BUILDING SUPPORT TOTAL	672	780	780	780	
	TOTAL ALL PROGRAMS	5,760	4,992	4,992	4,992	

NOTE:  
This facility is a one story heated pre-engineered steel building. The Apparatus Bay area will be a high bay space with a 14 foot clear ceiling height.

Executive Summary cont'd - Parking

# Programmatic Needs Assessment

Fire Dep. Sub Station Study  
Town of Wolfeboro, NH

LAVALLEE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Fire Dep. Sub Station Program  
01/26/2021

Parking Requirements					Notes
	STAFF	VISITOR	FD VEHICLES (parked on site)	TOTAL	
Fire Department	6	0	2	8	Does not include parking spaces for off-duty & part time personnel for fire calls.
Public - Community Room	0	8	0	8	
<b>TOTAL PARKING NEED</b>	<b>6</b>	<b>8</b>	<b>2</b>	<b>16</b>	Includes 2 ADA spaces

Vehicles	Area - SF	Size	Main Station	Substation
Boat 1	240	8x30		X
Hazmat Trailer	213.75	9.5x22.5		X
Snowmobile	135	9x15		X
Engine 3	306	9x34		X
Car 2 (Future)	136	8x17		X
Support Trailer (Future)	114	9.5x12		X
<b>TOTAL SF</b>	<b>1144.75</b>			

NOTE: All apparatus and vehicles noted above are being housed in two (2) 18 x 60 bays = 2,160 NSF plus a 20% grossing factor

# Programmatic Needs Assessment

Fire Dep. Sub Station Study  
Town of Wolfeboro, NH

LAVALLEE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Fire Dep. Sub Station Program  
01/26/2021

## C-1 Common Spaces

LAVALLEE|BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2021 (current need)	2025	2035	
C-1	Common Spaces				
C-1.1	Entry Vestibule	1	80	80	
C-1.2	Public Lobby	1	120	120	
C-1.3	Public Restrooms @ 56 sf each	2	112	112	
C-1.4	Community Meeting Room/Multi-purpose Room	1	500	500	Accessible from small Lobby and from Community/Meeting Room
C-1.5	Community Room Storage	1	60	60	Approximately 20 x 25 - accessible from the Lobby
C-1.6	Community Room Kitchenette	1	40	40	Chairs/tables storage- accessible from Community Room
	SUBTOTAL	912	912	912	Located inside the Community Room
	Efficiency Factor 20%	182	182	182	
	TOTAL	1,094	1,094	1,094	

Programmatic Needs Assessment

Fire Dep. Sub Station Study  
Town of Wolfeboro, NH

LAVALLEE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Fire Dep. Sub Station Program  
01/26/2021

F-1 Fire Administration LAVALLEE|BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2021 (current need)	2025	2035	
F-1	Fire Administration  NOT APPLICABLE				
SUBTOTAL		0	0	0	
Efficiency Factor 20%		0	0	0	
TOTAL F-1		0	0	0	

# Programmatic Needs Assessment

Fire Dep. Sub Station Study  
Town of Wolfeboro, NH

LAVALLÉE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Fire Dep. Sub Station Program  
01/26/2021

Space ID Name Program Area  
F-2 Fire Station LAVALLÉE|BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2021 (current need)	2025	2035	
F-2	Fire Station				
F-2.1	Firefighter/EMT Ready Room	150	150	150	Adjacent to bays w/ window into bays, also near admin. Suite style with 3 work areas/counters Existing bays: 70'x15' (1,050 sf) - Refer to the Executive Summary for a list of the apparatus 12 FD Staff
F-2.2	Apparatus Bays @ 18'x60' (double-length)	2,160	2,160	2,160	
F-2.3	Bunker Gear Storage @ 24 sf each	288	288	288	
	SUBTOTAL	2,598	2,598	2,598	
	Efficiency Factor 20%	520	520	520	
	TOTAL F-2	3,118	3,118	3,118	

# Programmatic Needs Assessment

Fire Dep. Sub Station Study  
Town of Wolfeboro, NH

LAVALLEE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Fire Dep. Sub Station Program  
01/26/2021

## F-3 FD Departmental Support Lavallee|Brensing Architects

Space Designation		Space Need			Notes
No.	Function	2021 (current need)	2025	2035	
F-3	FD Departmental Support				
F-3.1	Extractor/Drying Room	0	0	0	
F-3.2	Male Locker / Shower Room	0	0	0	
F-3.3	Female Locker / Shower Room	0	0	0	
F-3.4	Single / Decon Shower	0	0	0	
F-3.5	Air Compressor Room	0	0	0	
F-3.6	Tool Storage/Equipment Work Room	0	0	0	
F-3.7	Air Cascade Equipment Room	0	0	0	
F-3.8	Decontamination	0	0	0	
F-3.9	Laundry	0	0	0	
	SUBTOTAL	0	0	0	
	Efficiency Factor 20%	0	0	0	
	TOTAL	0	0	0	

Included under and located inside the Apparatus Bays - refer to F-2.2

Programmatic Needs Assessment

Fire Dep. Sub Station Study  
Town of Wolfeboro, NH

LAVALLEE BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Fire Dep. Sub Station Program  
01/26/2021

Space ID Name Program Area  
S-1 Facility Support LAVALLEE BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2021 (current need)	2025	2035	
S-1	Facility Support				
1-1.1	Trash/Recycling Storage	1	80	80	
1-1.2	Custodial Closet	1	60	60	
1-1.3	Mechanical Room	1	150	150	
1-1.4	Electrical Room	1	100	100	
1-1.5	Telephone/Fiber Room	1	60	60	
1-1.6	Storage Room - Misc. Fire Storage	1	200	200	
	SUBTOTAL		650	650	
	Efficiency Factor 20%		130	130	
	TOTAL	S-1	780	780	

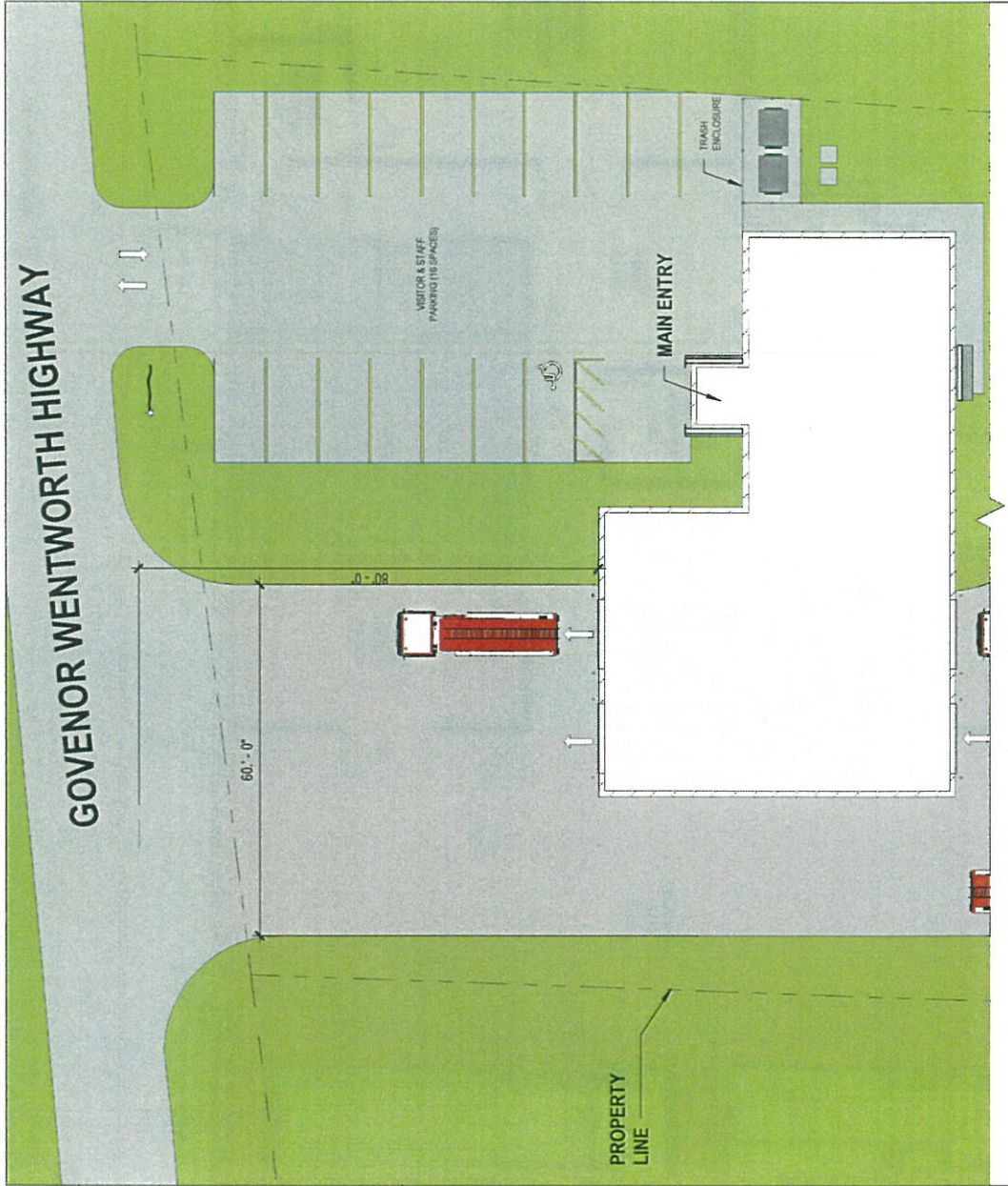
Mop sink and shelving

Town of Wolfeboro, NH  
Fire Department Substation Program & Conceptual Design Study

# Conceptual Design

LAVALLÉE BRENSINGER ARCHITECTS





**1** SITE PLAN  
PRES-1 1" = 20'-0"

# TOWN OF WOLFEBORO

WOLFEBORO FD SUB STATION

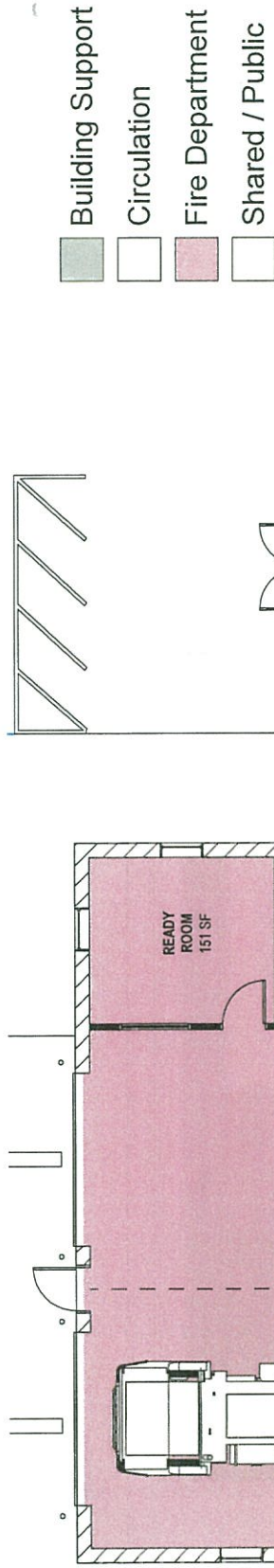
SITE PLAN

SCALE: 1" = 20'-0"



LAVALLEE BRENSINGER ARCHITECTS

07/15/21



1 LEVEL 1  
PRES-2 1/8" = 1'-0"

# TOWN OF WOLFEBORO

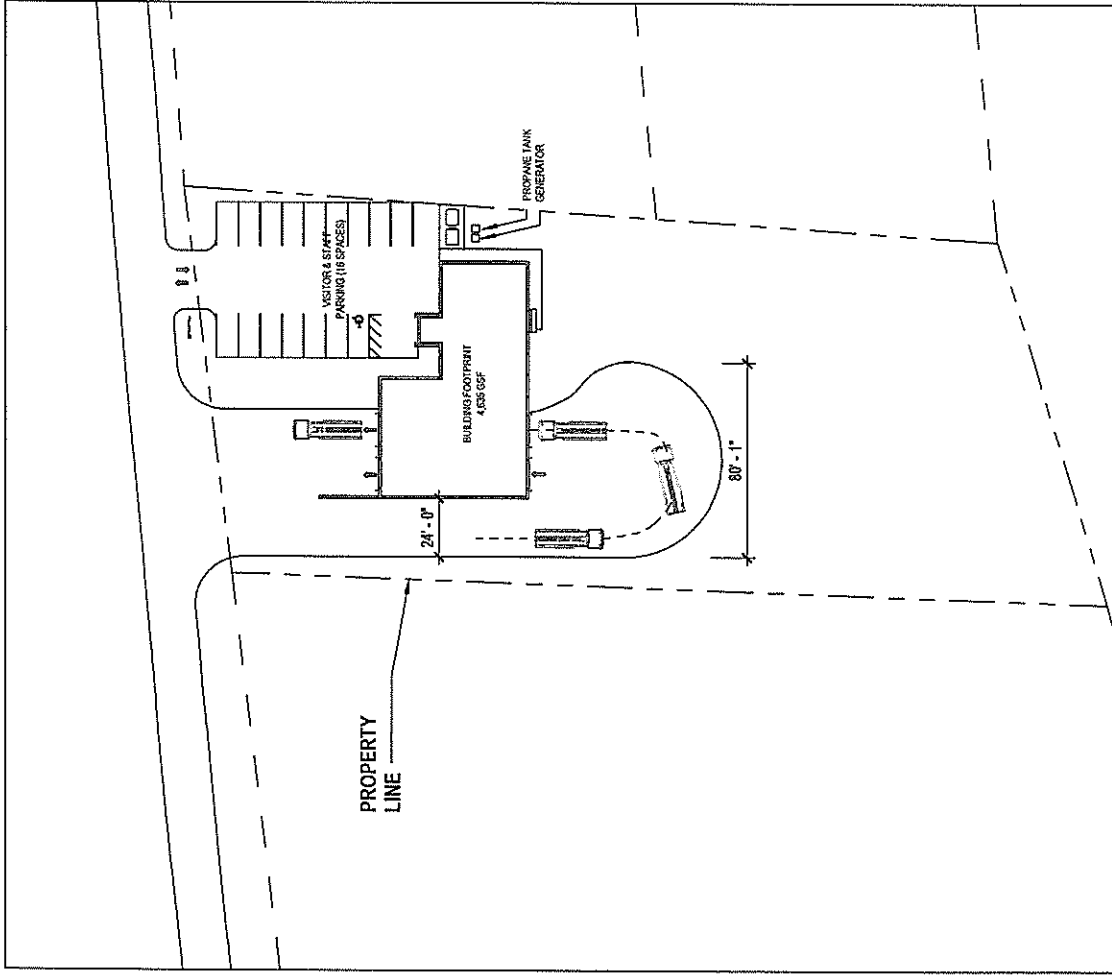
WOLFEBORO FD SUB STATION

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

07/15/21

LAVALLEE BRENSINGER ARCHITECTS



1 OVERALL SITE PLAN  
PRES-3 1" = 50'-0"

TOWN OF WOLFEBORO

WOLFEBORO FD SUB STATION

OVERALL SITE PLAN

07/15/21

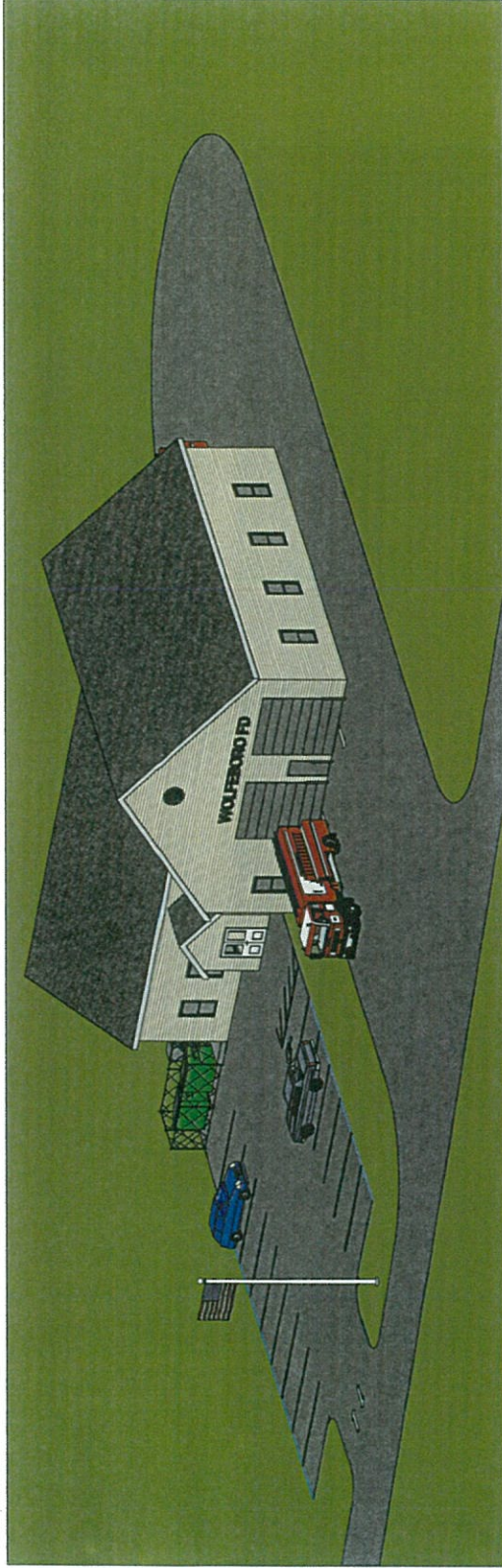
SCALE: 1" = 50'-0"

LAVALLEE BRENSINGER ARCHITECTS



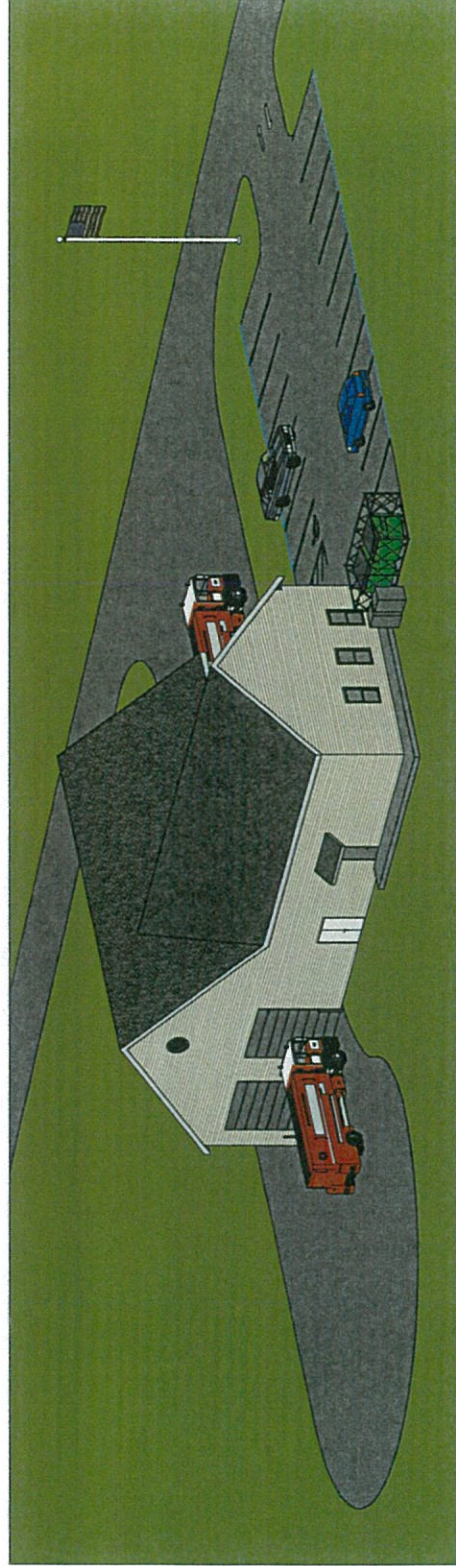






1 View - North Elevation

PRES-4



2 View - South Elevation

PRES-4

## TOWN OF WOLFEBORO

WOLFEBORO FD SUB STATION

3D MASSING

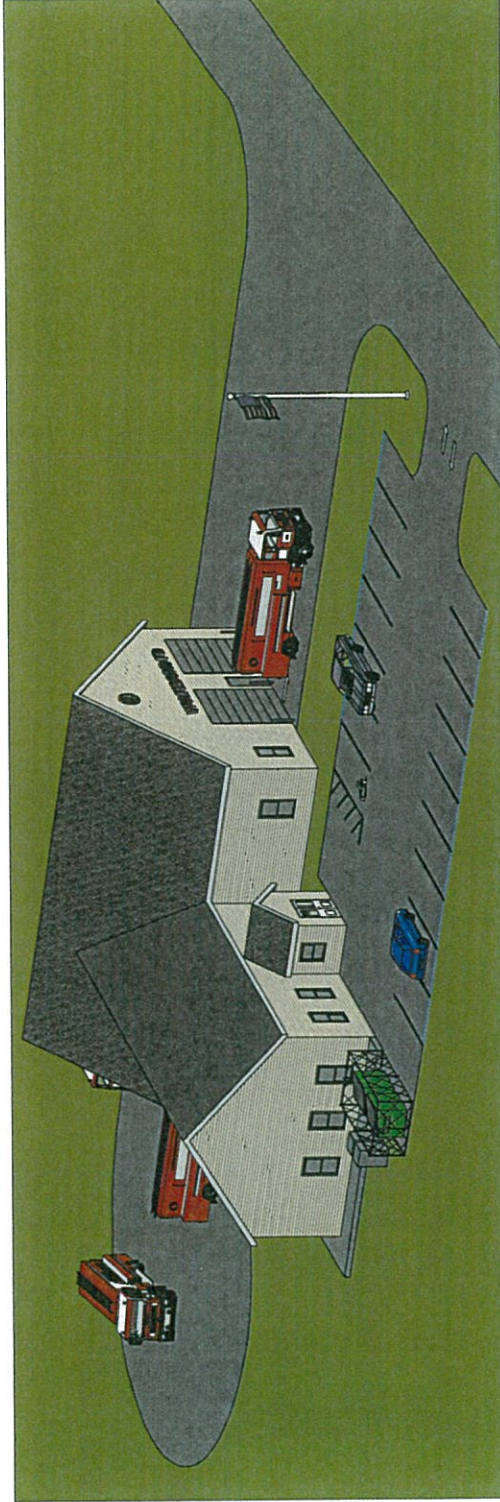
SCALE:



07/15/21

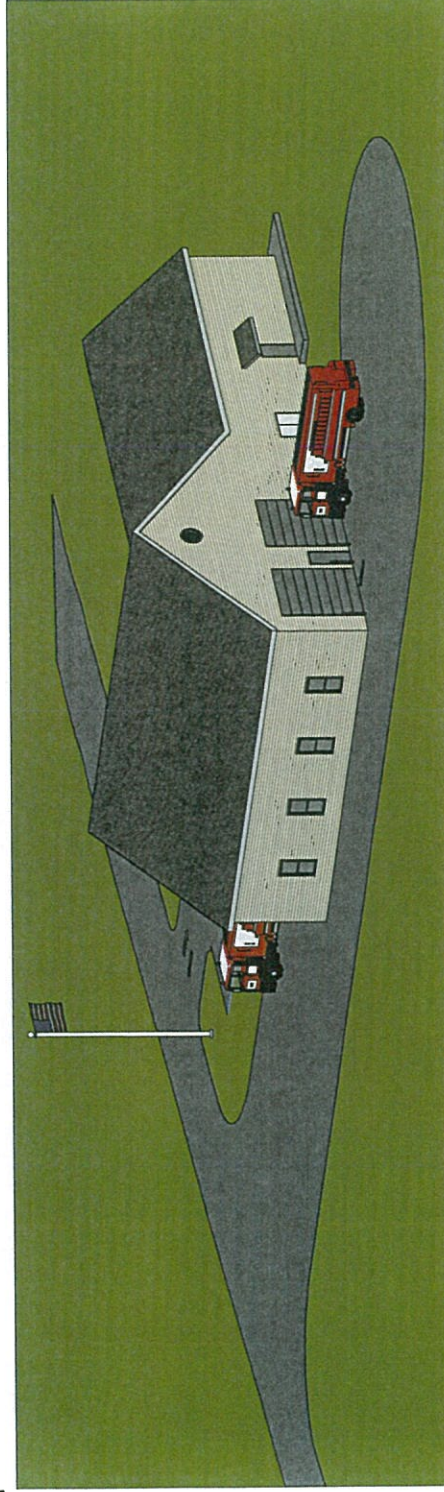
LAVALLÉE | BRENSINGER ARCHITECTS





1 View - East Elevation

PRES-5



2 View - West Elevation

PRES-5

# TOWN OF WOLFEBORO

WOLFEBORO FD SUB STATION



SCALE:

07/15/21

LAVALLEE | BRENSINGER ARCHITECTS

3D MASSING

# Basis of Design



# Town of Wolfeboro, NH Fire Department Substation Program & Conceptual Design Study

Town of Wolfeboro, New Hampshire  
New Fire Department Sub-Station Facility  
Basis of Design Summary - Updated August 3, 20121

Spec #	Topic	Comments
	Project Description	New One-Story Structure. Structure shall be a pre-engineered prefabricated metal building steel frame and girt structure. Foundations shall be poured in place concrete frost wall and footing construction with floor slab on grade. Exterior wall system shall be finish metal siding and vinyl wrapped insulation over metal building structure. Non-structural steel stud interior finish walls in spaces other than Apparatus Bay and adjacent equipment related spaces.
	Site Documentation (Due Diligence)	Topographic survey with boundary lines; Test Pits logged by a CSS or Septic Designer
	Land Survey	Recommend including infiltration testing at stormwater treatment areas
	Environmental Assessment	N/A - Site Drilled Well Required.
	Geotechnical Investigations	Per State Requirements - Drilled Well
	Endangered species	N/A
	Water flow test (Hydrant Test)	N/A
	Water quality test	N/A
	Building Code, Permitting, Regulatory	State of New Hampshire Building Code (RSA 155A); 2015 Editions effective September 15, 2019
	Applicable codes	2015 International Building Code, with amendments 2015 International Existing Building Code, with amendments 2015 International Energy Code, with amendments 2015 International Plumbing Code, with amendments 2015 International Mechanical Code, with amendments 2017 National Electrical Code, with amendments State of New Hampshire Fire Code - CHAPTER 101 - The Life Safety Code and NFPA 1, The Fire Prevention Code
	Climate Zone	Zone 6
	LEED / Level of sustainability	N/A
	NHSDOT	Driveway Permit by Town. Excavation permit for utility connections by contractor
	Town of Wolfeboro	Planning Review (advisory status) during final design
	Use Classification	Business
	Construction Type	Business
	Insurance Requirements	Business
	BIM	N/A
	Perit version	N/A
	LOD	N/A
	Management of model (Design, Bldgng, CA, Closeout)	N/A
	Level 1 elevation (100' or Sea level)	N/A
	Building Envelope	N/A
	Exterior Wall System	Metal Siding / Vinyl Wrapped (R-20 min) / 3/5" Steel Stud (non-load bearing to 10' - top loaded) / 5/8" Gypsum Wall Board / Paint Finish (Stud & wall board excluded for Apparatus Bay and adjacent equipment spaces).
	Membrane Roof System	N/A
	Pitched Roof System	Architectural Grade Asphalt Shingle / Weather barrier / 5/8" Plywood roof sheathing / Metal Deck / Pre-engineered Building Structure / Vinyl wrapped insulation on building frame (R-49 min total roof insulation value)
	Roof top equipment screens	N/A
	Building Foundations and Superstructure	Pre-engineered Prefabricated Steel Building System
	Structural Systems	Cast-in-place shallow, spread and strip footings
	Traditional spread footings	50 ksi yield
	Steel Framing	Per Prefab System Design / Bents clear span interior spaces.
	Ideal grid size	N/A
	Roof Framing (Flat)	N/A

Town of Wolfeboro, New Hampshire  
New Fire Department Sub-Station Facility  
Basis of Design Summary - Updated August 3, 20121

Spec #	Topic	Comments
	Roof Framing (Pitched)	Pre-engineered Prefabricated Steel Bent and Perlin System
	Live load	Vehicular: AASHTO H15-25. Office: 60 PSF typical, 100 PSF at storage areas
	Floor to floor heights	N/A
	Roof parapet	N/A
	Future Expansion (Vertical/horizontal)	N/A
	Special ground floor equipment loads	N/A
	Slab on grade / concrete foundation walls	Grade supported floor slabs; Vehicular slabs: 8". Office areas: 4"
	/read footings	N/A
	Primary Frame	Pre-engineered Prefabricated Steel Bent Framing
	Elevated Floor System: Composite Deck w/ WF section framing	N/A
	Roof top equipment screens	N/A
	Building Expansion Joints	N/A
	Window cleaning tie-offs	N/A
	Egress Stairs	N/A
	General Conditions add 00 21 13 Instructions to Builders	N/A
	2004 CSI format	N/A
	Division 00 - Procurement and Contracting Requirements	N/A
	General Conditions	N/A
	Supplemental Conditions	N/A
	Division 01 - General Requirements	N/A
	General Requirements	Digital Documents
	Electronic Media	TBD
	Allowances	TBD
	Unit prices	TBD
	Alternates	TBD
	Indoor air quality add 01 40 00 Quality Requirements and Special Inspections	YES
	Construction waste management	TBD
	Project Closeout / Record Documents	YES
	Warranties	YES
	Division 02 - Existing Conditions	N/A
	Subsurface Explorations	N/A
	Demolition	N/A
	Division 03 - Concrete	N/A
	Cast-in Place Concrete	3000 psi, 3/4" aggregates (ASTM C33), normal weight, Portland cement (ASTM C150), A.E.
	Footings	At entraining agent, water reducer, set retarder or accelerator, as required
	Admixtures in concrete	3000 psi, 3/4" aggregates (ASTM C33), normal weight, Portland cement (ASTM C150), A.E.
	Concrete Foundations	4000 psi, 3/4" aggregates (ASTM C33), normal weight, Portland cement (ASTM C150).
	Concrete Slab on grade	TBD
	Underslab drainage system	Reinforced 15 mil. minimum thickness with taped joints, Vapor retarder by Stego Wrap or equal
	Vapor retarder	2" rigid (R-10) min. Extruded Polystyrene Extended 4" min below finish grade vertically at perimeter foundation
	Perimeter insulation and drainage system	N/A
	Underslab insulation	N/A
	Waterstops	4" Thick - minimum Concrete. Vehicular: 8" thick.
	Entrance slabs	1" Deep
	Depressed entrance mat	N/A
	Elevator pit (with sump pit)	N/A
	Concrete suspended slabs	N/A



# Town of Wolfeboro, NH Fire Department Substation Program & Conceptual Design Study

Town of Wolfeboro, New Hampshire  
New Fire Department Sub-Station Facility  
Basis of Design Summary - Updated August 3, 20121

Town of Wolfeboro, New Hampshire  
New Fire Department Sub-Station Facility  
Basis of Design Summary - Updated August 3, 20121

Spec #	Topic	Comments
	Concrete MEI/FP equipment site pads	6" grade supported slab with 18" haunched perimeter
	Cast concrete ramp / stairs	N/A
	Concrete filled stair pans	N/A
	Concrete retaining walls	N/A
	Exterior cast in place conc. Stairs/ramps	N/A
	CMU partitions	N/A
	Light pole base	Precast 30" Dia. X 6' - 24" Exposure Above Finish Grade
	Loading Dock	N/A
03 45 00	Architectural Precast Concrete	N/A
03 54 00	Cast Underlayment	N/A
	Division 04 - Masonry	
04 20 00	CMU	N/A
	Veneer	N/A
	Reinforcing, tie, anchors, flashing, weaps	N/A
04 40 00	Natural Thin stone veneer system	N/A
04 73 00	Manufactured stone masonry	N/A
	Division 05 - Metals	
05 12 00	Structural steel framing	Pre-Engineered Prefabricated Building System
05 21 00	Steel Joist Framing	N/A
05 31 00	Steel Decking	Pre-engineered Prefabricated Building System
05 40 00	Cold-Formed Metal Framing	N/A
05 50 00	Metal Fabrications	Overhead Vehicle Door Galvanized Channel Frames/ Equipment Supports
	Pit covers, grating, frames	N/A
	Bollards at Vehicle Bay Doors	Grating covers over trench drains in vehicle bays
	Trench drain assemblies	Galvanized Steel pipe Bollards located each side of all Vehicle Door Openings/ Protective Bollards around Site Mounted Equipment and Tanks / Plastic Bollard Covers
	Misc. steel angles, plates	Vehicle Apparatus Bays
	Exterior and wet location components hot dipped galvanized	ASTM A36
	Window cleaning tie-offs	All Exterior Steel Exposed to Elements
	Folding partitions	N/A
	Ceiling hung partitions	N/A
05 51 00	Metal Stairs	TBD
	Steel Ladders Fabrications	TBD (above ceiling access)
	Handrails and guardrails	N/A
	Ornamental stairs in lobby	N/A
	Composites	N/A
06 10 00	Rough carpentry	Dimensional Sawn Lumber SPF #2 typically. Interior and Window Head Jamb/ Pressure Treated Blocking - Wet Locations.
06 10 54	Wood blocking and curbing	Interior Walls- Fire Treated
06 17 53	Shop Fabricated wood trusses	2x Pressure Treated Blocking / 5/8" plywood roof sheathing
06 20 00	Finish Carpentry and Arch Millwork	N/A
	AWI Grade	Custom
	Painted wood	TBD
	Wood for translucent finish	TBD
	Solid surface window sills	Window sills at exterior windows
	Counter supports	TBD

Spec #	Topic	Comments
06 41 00	Arch Wood Casework	TBD
	AWI Grade	Custom
	Cabinets, drawer, aprons, valances	TBD
	Custom reception desks	N/A
	Wall mounted cabinets	TBD
	Wood blocking at door stops	N/A
	Hardware	TBD
	Cabinet door hinges	European Style
	Door pulls	4" Wire Style
	Drawer slides	4" Wire Style
	Coat hooks	TBD
06 42 16	Wood Veneer Paneling	N/A
	Division 07 - Thermal and Moisture Protection	
07 11 13	Bituminous Waterproofing	Applied to Structural Steel Below and Embedded in Concrete
07 14 00	Waterproofing	TBD
07 21 00	Thermal Insulation	
	Batt acoustical insulation (interior walls)	2 1/2" Batt in all interior wall studs - full height
	Exterior Wall Insulation	Vinyl wrapped Metal Building System Insulation [R-20 min.]
07 21 19	Sloped Roof Insulation	Vinyl wrapped Metal Building System Insulation [R-49 min.]
07 24 00	Framed-in-place Insulation	TBD
07 25 00	Weather barrier system (sheet)	N/A
07 31 13	Asphalt Shingles	Sheet 40mil minimum (self adhering)
07 41 13	Metal Roof Panels	Architectural Grade Asphalt Shingle
07 42 13	Metal Wall Panels	N/A
07 42 14	Insulated Metal Wall Panel	24 gauge Metal Siding
07 42 64	Metal Composite Material Wall Panel	N/A
07 46 46	Fiber Cement Siding	TBD
07 54 00	Thermoplastic Membrane Roofing (TPO)	N/A
	Polyisocyanurate roof insulation	N/A
	Deck underlayment	N/A
07 62 00	Sheet Metal Drip Flashing and Trim	600" Aluminum
07 72 00	Roof Accessories	N/A
07 81 00	Applied Preproofing	N/A
07 81 23	Intumescent Mastic Fireproofing	N/A
07 84 00	Firestopping	Fire Sealant/ Fiber Fill
07 90 05	Joint Sealers	Silicone
07 95 13	Expansion Joint Covers	N/A
	Division 08 - Openings	
08 11 13	Hollow metal doors and frames	Frames - 14 Gauge Extra Heavy Duty 10 Galvanized Seamless (Fully Welded Joints Ground Smooth) - Thermal Broken & Insulated. Doors - 16 Gauge Extra Heavy Duty Galvanized Seamless With Bonded Rigid ISO-Board Insulation Core
	Hollow metal doors and frames/ Exterior	Doors - 18 Gauge Heavy Duty Seamless (Fully Welded Joints Ground Smooth).
	Hollow metal doors and frames/ Interior	Doors - 18 Gauge Heavy Duty - Rigid Interior Core
08 14 16	Flush Wood Doors	1-3/4" Thick 5-Ply Solid Core - 32 PSF Density Partial Board or Mineral Core, Architectural Wood Clear Finish Wood Veneer. Lifetime Warrantee
08 31 00	Access Doors and Panels	Misc. Locations Related With MEP Systems



# Town of Wolfeboro, NH Fire Department Substation Program & Conceptual Design Study

Town of Wolfeboro, New Hampshire  
New Fire Department Sub-Station Facility  
Basis of Design Summary - Updated August 3, 20121

Town of Wolfeboro, New Hampshire  
New Fire Department Sub-Station Facility  
Basis of Design Summary - Updated August 3, 20121

Spec #	Topic	Comments
08 33 23	Overhead Colling Doors	N/A
08 33 23	Overhead Sectional Exterior Doors	2" Steel Thermal Insulate/ Windows/ Painted
08 42 29	Automatic Entrances	HC Entry Doorways - Main Entrance & Vestibule
08 43 13	Alum. Framed Storefronts & Doors	2-1/2" x 4 1/2" Wide, High Energy Efficiency Thermal Broken Storefront - 11" bottom rail Entrances & Vestibules / Glass over Glass Door with 4-1/2" Stile & Rails w/ 1 1/2" bottom rail
08 51 13	Fiberglass Windows (fixed & Operable)	3-1/2" min. Fiberglass pultruded Frame, Completely Polyurethane Foam Insulation Filled, Reinforced Molded Mitered Corners/ CSA A440, AAMA and NFRC Tested and Rated/Custom Color Selections/ 7/8" Sealed Double Glazed Unit with 5/8" min. Argon Filled Air Space.
08 71 00	Door Hardware	Commercial Grade 1 (Heavy Duty) Cylinder Lever Door Hardware/ Egress Door Panic Hardware.
08 71 00	Door Control Hardware	OWNER FFE
08 80 00	Glazing	1" Thick High Performance/Low-E/Argon Filled Air Space
08 91 00	Lowers	Architectural Lowers - Anodized Alum with Insect Screen Coordinated with HVAC
09 05 61	Division 09 - Finishes	
09 11 16	Moisture Barrier System	Moisture Barrier System Applied On Concrete with Sheet & Carpet Tile
09 11 16	Board - 5/8" FR Gypsum / Moisture Resistant @ Toilet Rooms	Board - 5/8" FR Gypsum / Moisture Resistant @ Toilet Rooms
09 11 16	Misc. Materials - Metal Corner & Ceiling Bead Trim/ Tape/ Compound.	Misc. Materials - Metal Corner & Ceiling Bead Trim/ Tape/ Compound.
09 11 16	Interior Steel Stud Framing @ Admin spaces - 3-5/8" Wide, 18 Gauge min. + Miscellaneous	Interior Steel Stud Framing @ Admin spaces - 3-5/8" Wide, 18 Gauge min. + Miscellaneous
09 11 16	Framing to 10' above finish floor (top brace).	Framing to 10' above finish floor (top brace).
09 11 16	Interior Stud Wall Framing dividing Apparatus Bay and Admin Spaces - 6" wide, 18 gauge min	Interior Stud Wall Framing dividing Apparatus Bay and Admin Spaces - 6" wide, 18 gauge min
09 11 16	5/8" Gypsum Board (both sides) / 3/8" steel stud / 2 1/2" Acoustic fiberglass Batt	5/8" Gypsum Board (both sides) / 3/8" steel stud / 2 1/2" Acoustic fiberglass Batt
09 30 00	Typical acoustical partition	Floor - Architectural Grade 12" x 12" min. Porcelain Tile/ Tile Thin Set Mortar Bed/ Epoxy Mortar
09 30 00	Tiling	Joint
09 51 00	Acoustical Ceilings	Wall - Glazed Porcelain 4" x 12" / Latex-Portland Cement Grout.
09 51 00	Acoustical Ceilings	2" x 2", Tegular/ 15/16" Grid Suspension (no ceilings in Apparatus Bay and adjacent Bay side accessed equipment spaces)
09 65 00	Resilient Flooring	N/A
09 65 00	Sheet	Vinyl sheet flooring
09 65 66	Wall base	4" Rubber Base / Sheet covered base at wet locations
09 65 66	Resilient Athletic Flooring	Cushion Rubber Tile - 3/8" thickness x 22" Square Tile
09 67 23	Resilient Flooring	N/A
09 68 00	Carpeting (Tile)	General - Tufted Construction, Multi-Textured Colored Loop, 100% Solution Dyed, Reinforced Polyester Cushion Backing.
09 70 00	Typical Flooring Finishes Schedule	
09 70 00	Lobby	Walk-off Tile Carpet
09 70 00	Corridors	Carpet Tile
09 70 00	Community Room/Training	Carpet Tile
09 70 00	Ready Room (Apparatus Bay)	Carpet Tile
09 70 00	Storage Rooms	Resilient Sheet
09 70 00	Toilet Rooms	Resilient Sheet
09 70 00	Apparatus Bay & Adjacent Accessed Spaces/ Mechanical	Porcelain Tile
09 70 00	Deconv/ Soiled Room	Concrete; sealed
09 70 00	Wall Coverings	Resilient Sheet
09 70 00	Acoustic Wood Wall Panels	N/A
09 70 00	Interior Wall Treatment	N/A
09 91 13	Exterior Painting	Enamel - 3 Coats
09 91 23	Interior Painting	Latex - 3 Coats
09 91 23	Division 10 - Specialties	
10 11 01	Visual display boards	Marker Board - One (1) Community Rm (4' x 8')

Spec #	Topic	Comments
10 14 24	Interior signage	One Each Room Doorway
10 21 13	Multi-user Toilet Room Compartments	N/A
10 26 01	Wall and Convergents	W/Wall Projection Sheet - 8" high in Interior CL/ Trash Rm/ Apparatus Bay/ Deconv/Soiled Rm/ Apparatus Bay Storage/ Apparatus Bay Bunker Gear Rm./ 48" High Corner Guards all Corridor Outside Corners
10 28 00	Toilet Accessories	One per Each Toilet
10 28 00	Toilet Paper Dispenser	One per Each Toilet Room
10 28 00	Hand towel Dispenser	Deck Mount each sink
10 28 00	Soap Dispenser	HC Toilets - Stainless Steel - Back/ Side/ Vertical - Each Toilet
10 28 00	Grab bars	30" x 42" Stainless Steel Channel Trim each Sink
10 28 00	Shower curtain rods	N/A
10 28 00	Utility hooks	N/A
10 28 00	Robe hooks	N/A
10 28 00	Trash receptacles	One Recessed Each Toilet Room
10 28 00	Marlin disposal receptacles	One (1) Each Women's Toilet Stall
10 28 00	Baby changing stations	One (1) - Public Lobby Toilet Room
10 44 13	Fire Protection Specialties	Recessed Fire Extinguisher Cabinet + Extinguisher
10 51 00	Lockers	OWNER FFE
10 56 26	Movable Storage Shelving	OWNER FFE
10 56 29	Heavy Duty Storage Shelving	OWNER FFE
10 75 00	Flagpoles	Aluminum Pole - Tapered/ Internal Halcyard with Locking Cover/Swivel Top/1 Poles at 25'
11 52 13	Division 11 - Equipment	
11 52 13	Projection screens	OWNER FFE
12 21 16	Vertical Lower Blinds	N/A
12 24 00	Window Roller Shade System	5% Transmittance/ Fabric/ Manual Chain Control/ All Exterior Windows excluding the Apparatus Bay
12 32 00	Wood Casework	TBD
12 36 00	Countertops	N/A
12 48 13	Entrance floor mats and frames	1" Recessed Walk-off Mat - Removable
12 93 13	Bicycle rack	TBD
12 93 13	Artwork	N/A
13 13 13	Division 13 - Special Construction	
13 13 13	Division 14 - Conveying Equip	
13 13 13	Passenger Elevator	N/A
13 13 13	Division 21 - Fire Suppression	
13 13 13	Sprinkler Water Service	N/A
13 13 13	Division 22 - Plumbing	
13 13 13	Domestic Water Service	Site Drilled Well - 40 meter
13 13 13	Domestic Water Heating Systems	LP Gas high efficiency heater, HTP Phoenix 119
13 13 13	Domestic Water Distribution Systems	Typical Hard Copper, hot water, cold water, full recirculation. Fully Insulated 1".
13 13 13	Sanitary Drainage and Venting Systems	PVC Schedule 40 to Site Located Septic System
13 13 13	Storm Water Drainage Systems	N/A
13 13 13	Roof drainage	N/A
13 13 13	Special Drainage and Venting Systems	Sand/oil Interceptor, heavy duty trench drains @ each bay door/ System to separate site drainage distribution system
13 13 13	Propane or Natural Gas Systems	OWNER FFE (2 - 1000 gal above ground LP gas tanks)
13 13 13	Plumbing Fixtures	ADA where applicable.
13 13 13	Handwashing sinks	Wall mount lavatories. Manual faucets. PVC guards on all exposed traps.
13 13 13	Toilet	Wall mount toilet with manual 1.28 gal/flush valve. ADA where applicable.



# Town of Wolfboro, NH Fire Department Substation Program & Conceptual Design Study

Town of Wolfboro, New Hampshire  
New Fire Department Sub-Station Facility  
Basis of Design Summary - Updated August 3, 2021

Spec #	Topic	Comments
	Urinal	Wall mount with manual 1/8 gal/flush valve
	Shower unit	N/A
	Eyewash station	Wall mount eyewash combination with tempering valve in utility/antiorial room
	H/K mop sink	Janitor fm.
	Drinking fountain / water bottle filler	Public Lobby
	Division 25 – Heating, Ventilating, and Air-Conditioning (HVAC)	
	Fuel source options	Electric heat pump, LP fired makeup air units and infrared heaters.
	Primary Heating Systems	Hydronic heat with LP Gas fired furnace with cooling coil. Fin tube radiation in admin spaces.
	Perimeter heat preference	Ceiling mounted gas heaters in Apparatus Bay
	Primary Cooling Systems	Baseboard radiation in admin spaces.
	Humidification Systems and Distribution	Gas fired furnace with cooling coil
	Air Handling Systems	Direct return
	Special Air Handling Systems	None.
	General Exhaust Systems	Static core energy recovery unit ducted to fan coils.
	Special Exhaust Systems	Vehicle bay - gas fired makeup air unit. Greenheck IGX.
	Air Distribution Systems	Static core energy recovery unit
	Local Terminal Equipment and Systems	Exhaust air systems shall be installed as required to address prevailing ventilation codes with a Phymovent, or similar, vehicle exhaust system installed to serve the Apparatus Bay (4,000 CFM @1).
	Piping Materials	Fully ducted supply, return and exhaust systems. All air conditioning and above ceiling duct to be fully insulated.
	Duct Materials	Trane unit heaters, Cab heaters. Price gilles, registers and diffusers. Greenheck blowers.
	Proposed Manufacturers	Type L Hard Copper, fully insulated 1 1/2" up to 2", 2" on 2" and up.
	Division 25 – Integrated Automation	SMACNA
	Automatic Temperature controls	Trane, Taco, Greenheck
	HVAC Zoning	Programmable Thermostats
	Electrical	Central cooling control (1 t-stat) with individually zones for heating in each space. Like spaces may be joined in a heating zone.
	Electrical company / designation	Wolfboro Light and Power
	Normal Electrical Service	400 amperes at 120/208 volts, three phase, four wire
	Generator - Standby	Pad preferred, but Utility may opt for a pole mounted solution
	Electrical equipment	OWMER FFE [100 KW, Sound Attenuated Diesel, 48 HR fuel supply, outdoor pad mounted & 800 ampere Transfer Switching]
	Grounding	400 ampere MDV/ 200 ampere subpanel for mechanical/ (2) 100 ampere subpanels power, lighting & emergency
	Lighting Protection	Building Steel, Service, Water Piping, Rebar and Telecom Ground Bars
	Wiring Methods	OWMER FFE (roof mounted air terminals in accordance with NFPA 780)
	Lighting and Controls	Conductors in conduit for exposed work, MC cable for concealed in non-cru walls
	Lighting	Localized Digital Controls, sensors and TOD Relay Panel
	ALL spaces except Apparatus Bay	LED only
	Apparatus Bay	2x2 Lumin Volumetric, 3000 lumen
	Toilet Rooms	LED Highway Product, integrated station call system, with integral occupancy sensors
	Building mounted	Over mirror linear product plus 3 lens downlight
	Parking lot	LED wall jacks and area lights, photocell controlled
	Lighting and Controls	LED Area Lights on 20 foot poles, photocell controlled
	Photovoltaic Collectors	Localized Digital Controls, sensors and TOD Relay Panel
	Division 27 – Communications	TBD
	Main Data Room	Per TIA Standards

Spec #	Topic	Comments
	Data Room (per floor)	Per TIA Standards
	IT Recovery/Pathway System/Cabling/Terminations	TBD
	Voice Communications	OWNER FFE
	Cable TV	OWNER FFE
	Wireless network	TBD, but cabled with Data systems
	Overhead Paging system	TBD, but interfaced with Dispatch and Call System
	AV Systems / requirements / Infrastructure	Community Room, Interfaced with Data
	Employee Time Clock	OWNER FFE
	Division 28 – Electronic Safety and Security	
	Security	OWNER FFE
	Card access - doors	OWNER FFE - See Hardware
	Video surveillance (interior & exterior)	TBD
	Fire Alarm System	Addressable with Horn/Strobe Notification Signals.
	Division 31 – Earthwork	
31.08.00	Testing	OWNER FFE [Allowance for Geotech Field Testing (concrete, pavement, aggregates, stormwater infiltration areas)]
31.10.00	Site Clearing	Small trees (under 24" diameter)
31.08.00	Earth Moving	OWNER FFE
31.20.00	Earthwork, based on Geotech report	
	Crushed Gravel	NHDOT 304.3 or 304.4 (Option 1 - may substitute reclaimed asphalt)
	Bank Run Gravel	NHDOT 304.2 or 304.5
	Compacted Gravel	NHDOT 304.2
	Division 32 – Exterior Improvements	
	Site Design Elements	
	Solar orientation	
	Views to nature/ entry drive	
	Parking (Per zoning, min. size)	9'W x 19' L (or length can be reduced to 17' if vehicle overhangs a turf area)
	Public transportation / bus access	N/A
	Service area / loading dock requirements	N/A
	Snow removal	Snow removal will be limited...PL is right to edge of parking (east) and septic is right to edge of parking (west). Push to back of site
	Future expansion (parking and building)	N/A
32.12.00	Flexible Paving Surface (Asphalt)	N/A
	Heavy Duty Pavement Section	N/A
	Regular Pavement Section	2 Lifts NHDOT Superpave (2.5" 19MM Binder, 1.5" 12.5 MM Wearing)
	Sidewalks	N/A
	Parking lot islands	Turf (4" Loam and Seed w/ mulch and tackifiers)
32.13.00	Rigid Paving (Concrete)	Internal site areas
	Sidewalks	4" depth x 5'W (6" depth at curb ramp areas)
	Parking lot islands	N/A
32.14.00	Unit Paving	
32.16.00	Curbs, Sidewalks, Driveways	
	Curbing (material & type)	N/A
	Sidewalks (materials, width, fill material)	Concrete, 4" depth x 5'W (6" depth at curb ramp areas)/ 12" gravel

# Town of Wolfeboro, NH Fire Department Substation Program & Conceptual Design Study

Town of Wolfeboro, New Hampshire  
New Fire Department Sub-Station Facility  
Basis of Design Summary - Updated August 3, 20121

Town of Wolfeboro, New Hampshire  
New Fire Department Sub-Station Facility  
Basis of Design Summary - Updated August 3, 20121

Spec #	Topic	Comments
32 17 13	Parking bumpers	N/A
32 17 23	Parking markings	Thermoplastic pavement markings for cross walk areas, Retroreflective Paint (white) all other areas (parking spaces, etc.)
32 17 23	Pavement Snow Melting system	TBD
32 31 00	Fence and Gates	8' High Chain Link Fence & Gate with 51a fillers at Trash Enclosure
32 32 00	Retaining Walls	N/A
32 33 00	Site Furnishings	TBD
	Site Bicycle rack	N/A
	Site trash receptacles	N/A
	Site manufactured planters	N/A
	Site seating and tables	N/A
	Flagpole	See Architectural Division 10 - Section 10 75 00
32 39 00	Site Specialties	See Architectural Division 5 - Section 05 50 00
	Metal Bollards	OWNER FFE - Dumpster
	Trash compactor / dumpster	N/A
32 80 00	Irrigation system & Components	N/A
32 90 00	Planting Pre, Soil Prep, Stabilization	N/A
32 92 00	Turf and Grasses	Remainding non paved areas
32 93 00	Plants	TBD - Native plants in Bioretention/Rain Garden, Turf in other areas
	Ground cover	
	Plants and Bulbs	
	Shrubs	
	Trees	
33 00 00	Utilities	
33 14 00	Water Utility Transmission & Distribution	New site drilled well water service & warrantee.
	Piping, valves, enclosures	TBD
33 16 00	Water Utility Storage Tanks	N/A
33 19 00	Water Utility Metering Equipment	N/A
	Fire department connection	N/A
33 30 00	Sanitary Piping, Equipment	On Site Subsurface Disposal (leach field)
	Manholes	TBD
33 40 00	Stormwater Utilities	TBD
33 41 00	Subdrainage	TBD
	Foundation drainage	TBD
	Underslab drainage	N/A
	Retaining wall drainage	N/A
33 42 00	Stormwater Conveyance	Open drainage in vegetated swales - maintain existing CB and piping in back of lot, connect parking lot drainage with piping as needed (or use a swale)
33 44 00	Stormwater Utility Equipment	N/A
33 46 00	Stormwater Management	Infiltration system if soils are favorable. Bioretention areas (or other TBD) - depressed area 2' below FG, plantings, 4" mulch 18" biomedis, 12" crushed stone, 6" CPDT perforated and infiltration combined with detention; typical 3' depth (to be verified)
33 70 00	Detention ponds, retention ponds	
	Electrical Utilities	May require a new drop pole at the site for electric and telecommunication services - TBD
	Electrical poles	TBD
	Electrical u/g ductbanks, manholes	TBD
33 71 26	Transmission and Distribution Equip	TBD
33 73 00	Utility Transformer	Pad mount
	Generator	TBD - Pad mount

Spec #	Topic	Comments
33 80 00	Communications Utilities	TBD
	Transmission and Distribution	N/A
33 83 00	Wireless Com. Trans. & Distribution	TBD
33 52 00	Underground Gas Utility	N/A
	Gas Storage Tank	OWNER FFE - TBD
34 40 00	Transportation Signaling & Control Equip	N/A
	Site signage/wayfinding	OWNER FFE
	Traffic Signage	OWNER FFE
	Site lighting (Light poles, pedestrian walkways)	OWNER FFE
	Emergency pull stations	OWNER FFE
	Security cameras	OWNER FFE
	Vehicular guidrails (material)	



# Conceptual Budget

**Town of Wolfeboro, NH**  
**Fire Department Substation Program & Conceptual Design Study**

TOWN OF WOLFEBORO - FIRE DEPARTMENT SUBSTATION					
Conceptual Budget					
August 2, 2021					
SITE DEVELOPMENT:					
Demolition of existing structure	\$	312,500	\$	67.42	psf
Mobilization, erosion control, clean-up	\$	25,000	\$	5.39	psf
Site demolition, cuts/fills	\$	12,500	\$	2.70	psf
Excavation, backfill for structure, slab preparation	\$	32,000	\$	6.90	psf
Utilities and drainage systems	\$	50,000	\$	10.79	psf
Pavement, markings, hardscape, sidewalks, signage, bollards	\$	78,000	\$	16.83	psf
Landscaping, benches, bike racks, fencing	\$	90,000	\$	19.42	psf
	\$	25,000	\$	5.39	psf
RENOVATION/ADDITION CONSTRUCTION:					
Structure, foundation, and slabs	\$	1,116,000	\$	240.78	psf
Thermal and moisture protection	\$	255,000	\$	55.02	psf
Doors and windows	\$	120,000	\$	25.89	psf
Metal framing, drywall, ceilings, flooring, paint, millwork	\$	82,000	\$	17.69	psf
Specialties (e) lockers, fire extinguishers, bathroom accessories, etc.	\$	135,000	\$	29.13	psf
Plumbing and HVAC	\$	14,000	\$	3.02	psf
Electrical and fire alarm system	\$	175,000	\$	37.76	psf
CM general conditions and fee	\$	125,000	\$	26.97	psf
	\$	210,000	\$	45.31	psf
HARD CONSTRUCTION COST SUBTOTAL:					
	\$	1,428,500	\$	308.20	psf
DESIGN AND CONSTRUCTION CONTINGENCY 10%:					
	\$	142,850	\$	30.82	psf
SOFT COSTS 14% OF HARD COSTS:					
Architectural and engineering fees	\$	199,990	\$	43.15	psf
Geotechnical engineering and third party material testing					
Builders risk insurance					
Unit kitchen for meeting room					
Window treatments for the meeting room					
Backup generator, panel, and transfer switch					
Exterior signage					
Furnishings for the meeting room					
Security, IT, phone, access control systems and wiring					
ADDITIONAL COSTS NOT INCLUDED:					
Relocate and/or purchase dispatch equipment					
Existing building abatement and testing					
Fire department equipment (e) hose drying racks, fitness equipment, etc.					
PPE laundry equipment/extractors					
Communication radio system and equipment					
TOTAL PROJECT HARD AND SOFT COSTS:					
	\$	1,771,340	\$	382.17	psf

Project budget is based on anticipated construction costs for mid-2022  
 Construction industry pricing remains volatile due to material shortages and shipment delays

JOBIN CONSTRUCTION CONSULTANTS, LLC

**LAVALLEE BRENSINGER ARCHITECTS**



Town of Wolfboro, New Hampshire  
Police Department Facilities  
Conceptual Design Package



## Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfeboro, NH

LAVALLEE|BRENSINGER ARCHITECTS

LBA Project no. 17-083-00

Updated Police Dep. Program

08/01/2020

## Executive Summary

LAVALLEE|BRENSINGER ARCHITECTS

Space Designation		Space Need				Notes
No.	Function	Reference	2020 (current need)	2025	2035	
COMMON/SHARED SPACES						
C-1	Common Spaces	2,803	2,790	2,790	2,790	
COMMON/SHARED TOTAL		2,803	2,790	2,790	2,790	
POLICE DEPARTMENT						
P-1	Records Storage	600	625	625	625	
P-2	Community Resources	200	210	290	290	
P-3	Administration	470	883	883	883	
P-4	Dispatch	600	630	630	630	
P-5	Booking and Intake	2,115	1,975	1,975	1,975	
P-6	Property and Evidence	2,363	1,268	1,268	1,268	
P-7	Investigations	720	535	615	615	
P-8	Patrol/Operations/Training	2,468	1,028	1,130	1,130	
P-9	PD Departmental Support	1,988	1,594	1,594	1,594	
POLICE TOTAL		11,523	8,746	9,009	9,009	
BUILDING SUPPORT						
S-1	Facility Support	2,065	1,770	1,770	1,770	
BUILDING SUPPORT TOTAL		2,065	1,770	1,770	1,770	
TOTAL ALL PROGRAMS		16,390	13,306	13,569	13,569	

Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfeboro, NH

LAVALLÉE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Updated Police Dep. Program  
08/01/2020

Executive Summary cont'd - Parking

Parking Requirements					Notes
	STAFF	VISITORS	PD VEHICLES	TOTAL	
Police Department	10	2	7	19	includes ADA spaces
Public - Community Room	0	10	0	10	includes 2 ADA spaces
<b>TOTAL PARKING NEED</b>	<b>10</b>	<b>12</b>	<b>7</b>	<b>29</b>	

# Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfeboro, NH

LAVALLÉE BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Updated Police Dep. Program  
08/01/2020

## C-1 Common Spaces

LAVALLÉE BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
C-1	Common Spaces				
C-1.1	Entry Vestibule	80	80	80	seating for 4 people, prescription drug drop off (mailbox size) one with direct access to Community Room currently staffed by Dispatch but would like to move away from this (privacy issues). Current need: camera connect. Future: Admin assistant day shift, telephone or camera connect to dispatch nights
C-1.2	Public Lobby	225	225	225	
C-1.3	Public Restrooms @ 64 sf each	128	128	128	
C-1.4	Administrative Assistant/Receptionist	64	64	64	
C-1.5	Small Interview/Briefing Room	120	120	120	accessed from Lobby, also used as Sex Offender Waiting, Records Conference Room
C-1.6	Community Meeting Room/Training/Commissioners Briefing Room/Command Staff Conference Room	875	875	875	35 occupants. Tech for Common Operating Picture (COP) during emergencies. Could be reduced to 25-30 if necc. Includes Law Library.
C-1.7	Community Meeting Room Storage	100	100	100	Chairs/tables storage
C-1.8	Community Meeting Room Kitchenette	40	40	40	
C-1.9	Physical Agility Room/Defense Tactics Lab	600	600	600	
SUBTOTAL		2,232	2,232	2,232	
Efficiency Factor 25%		558	558	558	
TOTAL C-1		2,790	2,790	2,790	

# Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfeboro, NH

LAVALLÉE BRENSINGER ARCHITECTS  
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08/01/2020

## P-1 Records Storage

LAVALLÉE BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
P-1	Records Storage				
P-1.1	Copy Area	40	40	40	change to alcove, not shared (currently shared FD/PD)
P-1.2	Secured Juvenile Files Storage	40	40	40	Arrest records, juvenile files storage. Require storage forever. Currently stored in temporary storage at PD site. Traffic & incident reports. Could be offsite if stored in secured document storage area.
P-1.3	Long-Term Files Storage - 7+ years	300	300	300	
P-1.4	Short-Term Files Storage - <3 years	100	100	100	
P-1.5	Officers Access Service Counter	20	20	20	
P-1.6	Bulk Storage	0	0	0	From questionnaire - confirm size. OFFSITE POSSIBLE. Includes bikes, large stolen items, etc. Currently use 8x20 container on site. Need +/- 200 sf; DPW garage OK if fenced and secured for PD only as impound lot.
C-1.5	Small Conference Room	-	-	-	See C-1 Common
SUBTOTAL		500	500	500	
Efficiency Factor 25%		125	125	125	
TOTAL P-1		625	625	625	

# Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfeboro, NH

LAVALLÉE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Updated Police Dep. Program  
08/01/2020

## P-2 Community Resources

LAVALLÉE|BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
P-2	Community Resources				
P-2.1	Animal Control Work Area	64	64	64	Workstation, locate near sally port. For records writing, files
P-2.2	K-9 Storage with Safe	40	40	40	
P-2.3	Police Prosecutor/ Paralegal (Asst. Prosecutor, P/T Officer)	64	128	128	
	SUBTOTAL	168	232	232	
	Efficiency Factor 25%	42	58	58	
	TOTAL P-2	210	290	290	

# Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfeboro, NH

LAVALLEE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Updated Police Dep. Program  
08/01/2020

## Space ID Name      Program Area **P-3 Administration**      LAVALLEE|BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
P-3	Administration				Include reference library. Also Police Commission Meeting space
P-3.1	Chief of Police Office	160	160	160	
P-3.2	Captain/Executive Officer	130	130	130	
P-3.3	Small Meeting Room	120	120	120	
P-3.4	Copy/Supply Alcove	60	60	60	
P-3.5	Intern Work Area	72	72	72	
P-3.6	Reception/Waiting	64	64	64	
P-3.7	Administrative Assistant	64	64	64	
P-3.8	Police Commission Files Storage	36	36	36	
C-1.6	Command Staff Conference Room	-	-	-	
SUBTOTAL		706	706	706	Adjacent to P-3.4 small meeting room see C-1 Common/Shared
Efficiency Factor		177	177	177	
TOTAL		883	883	883	

# Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfeboro, NH

LAVALLÉE BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
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08/01/2020

## P-4 Dispatch

LAVALLÉE BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
P-4	Dispatch				
P-4.1	Dispatch Supervisor	64	64	64	workstation off dispatch
P-4.2	Call Taker/Dispatchers @ 80 sf each	160	160	160	current: 2 dispatchers + supervisor. Includes 2 workstations plus small touch down
P-4.3	Break Room with Lockers	120	120	120	area for supervisor (standing desk)
P-4.4	Staff Unisex Bathroom	80	80	80	lockers + kitchenette
P-4.5	Specialized Equipment Storage	80	80	80	
P-4.6	After-Hours Public Service Counter	0	0	0	share with reception desk? See C-1.5
SUBTOTAL		504	504	504	
Efficiency Factor 25%		126	126	126	
TOTAL P-4		630	630	630	



# Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfeboro, NH

LAVALLÉE|BRENSINGER ARCHITECTS  
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08/01/2020

## P-5 Booking and Intake

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
P-5	Booking and Intake				
P-5.1	Vehicle Sally Port	600	600	600	1 bay @ 20' x 30'
P-5.2	Detainee Wash Down Alcove	12	12	12	
P-5.3	Security Vestibules @ 64 sf each	128	128	128	
P-5.4	Juvenile Holding Cell @100 sf each	100	100	100	combined adult and juvenile
P-5.5	Detainee Property Storage Room	80	80	80	
P-5.6	Booking	120	120	120	
P-5.7	Adult Male Holding Cells @100 sf each	200	200	200	4 lockers see Common C-1
P-5.8	Intoxilizer Room with Medical Area	120	120	120	
P-5.9	Live Scan Alcove	80	80	80	
P-5.10	Secured Interview Room	80	80	80	
P-5.11	Temporary Evidence Drop Lockers	60	60	60	
C-1.5	Small Interview/Briefing Room	-	-	-	
SUBTOTAL		1,580	1,580	1,580	
Efficiency Factor 25%		395	395	395	
TOTAL		1,975	1,975	1,975	

# Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfeboro, NH

LAVALLÉE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Updated Police Dep. Program  
08/01/2020

## P-6 Property and Evidence

LAVALLÉE|BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
P-6	Property and Evidence				
P-6.1	Evidence Drop/Retrieval/Viewing Room	150	150	150	adjacent to booking Existing = 8x14
P-6.2	Evidence Storage Room	280	280	280	
P-6.3	Cash/Valuables Vault	40	40	40	
P-6.4	Weapons Vault	100	100	100	
P-6.5	Narcotics Vault	120	120	120	Inside Evidence Storage area Exterior Exterior: fenced area with cameras. DPW Location OK. Recommended 600 sf
P-6.6	Chemical Processing Lab	160	160	160	
P-6.7	Evidence to Be Destroyed Staging Area	60	60	60	
P-6.8	Freezer Bank/DNA Storage	40	40	40	
P-6.9	Found Articles Storage	64	64	64	
P-6.10	Vehicle Evidence Processing Bay	-	-	-	
SUBTOTAL		1,014	1,014	1,014	
Efficiency Factor 25%		254	254	254	
TOTAL P-6		1,268	1,268	1,268	

**Programmatic Needs Assessment**  
**Public Dep. Building Study**  
**Town of Wolfeboro, NH**

**LAVALLEE|BRENSINGER ARCHITECTS**  
 LBA Project no. 17-083-00  
**Updated Police Dep. Program**  
**08/01/2020**

Space ID Name      **P-7 Investigations**      Program Area      **LAVALLEE|BRENSINGER ARCHITECTS**

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
<b>P-7</b>	<b>Investigations</b>				
P-7.1	Detective Workstations @ 64 sf each	64	128	128	
P-7.2	Files Storage	60	60	60	
P-7.3	Specialized Equipment Storage Room	100	100	100	
P-7.4	Detainee Restroom	64	64	64	
P-7.5	Interview Rooms @ 80 sf each	80	80	80	
P-7.6	Interview Monitoring Equipment Room	60	60	60	
	SUBTOTAL	428	492	492	
	Efficiency Factor 25%	107	123	123	
	<b>TOTAL</b>	<b>535</b>	<b>615</b>	<b>615</b>	

# Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfboro, NH

LAVALLEE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Updated Police Dep. Program  
08/01/2020

## P-8 Patrol/Operations/Training LAVALLEE|BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
P-8	Patrol/Operations/Training				
P-8.1	Patrol Workstations (F/T) @ 36 sf each	3,5	180	180	added (2) P/T stations starting 2022
P-8.2	Patrol Work Area Files Storage		30	30	can be included with workstations area (not separate); stackable file cabinets
P-8.3	Patrol Sergeant's Suite @ 80 sf each	1	100	100	group office - open workstations.
P-8.4	Staff Sergeant's Office		100	100	private office, reduced 2.5
P-8.5	Central Business Hub		60	60	copy, print, shared supplies & resources
P-8.6	Armory		80	80	
P-8.7	Ammunitions Storage		40	40	
P-8.8	Quartermaster Supply Storage		250	250	
P-8.9	PD Bicycle Storage @ 16 sf each	4	64	64	Police bicycles; near equipment bays
P-8.10	Reference Library		-	-	Included in Admin sm. Meeting room P-3.4
	Community Meeting		-	-	See Common C-1
	Room/Training/Commissioners Briefing		-	-	
C-1.7	Room/Command Staff Conference Room		-	-	See Common C-1
C-1.6	Small Interview/Briefing Room		-	-	600 sf, See Common C-1
C-1.10	Physical Agility Room/Defense Tactics Lab		-	-	
SUBTOTAL			822	904	
Efficiency Factor		25%	206	226	
TOTAL		P-8	1,028	1,130	1,130

**Programmatic Needs Assessment**  
**Public Safety Building Study**  
**Town of Wolfeboro, NH**

**LAVALLÉE|BRENSINGER ARCHITECTS**  
**LBA Project no. 17-083-00**  
**Updated Police Dep. Program**  
**08/01/2020**

Space ID    Name    **P-9    PD Departmental Support**    **LAVALLÉE|BRENSINGER ARCHITECTS**    Program Area

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
<b>P-9</b>	<b>PD Departmental Support</b>				
P-9.1	Staff Restrooms @ 150 sf each	2	300	300	
P-9.2	Male Locker Room	20	220	220	
P-9.3	Male Shower Room	3	150	150	
P-9.4	Female Locker Room	5	65	65	
P-9.5	Female Shower Room	1	50	50	
P-9.6	Central Break Room		150	150	
P-9.7	PD Storage		60	60	
P-9.8	Unisex Dormitories @ 90 sf each	2	180	180	
P-9.9	Covered Parking/Indoor Storage		100	100	Radar Trailer
SUBTOTAL			1,275	1,275	
Efficiency Factor    25%			319	319	
<b>TOTAL</b>			<b>1,594</b>	<b>1,594</b>	

# Programmatic Needs Assessment

Police Dep. Building Study  
Town of Wolfeboro, NH

LAVALLEE|BRENSINGER ARCHITECTS  
LBA Project no. 17-083-00  
Updated Police Dep. Program  
08/01/2020

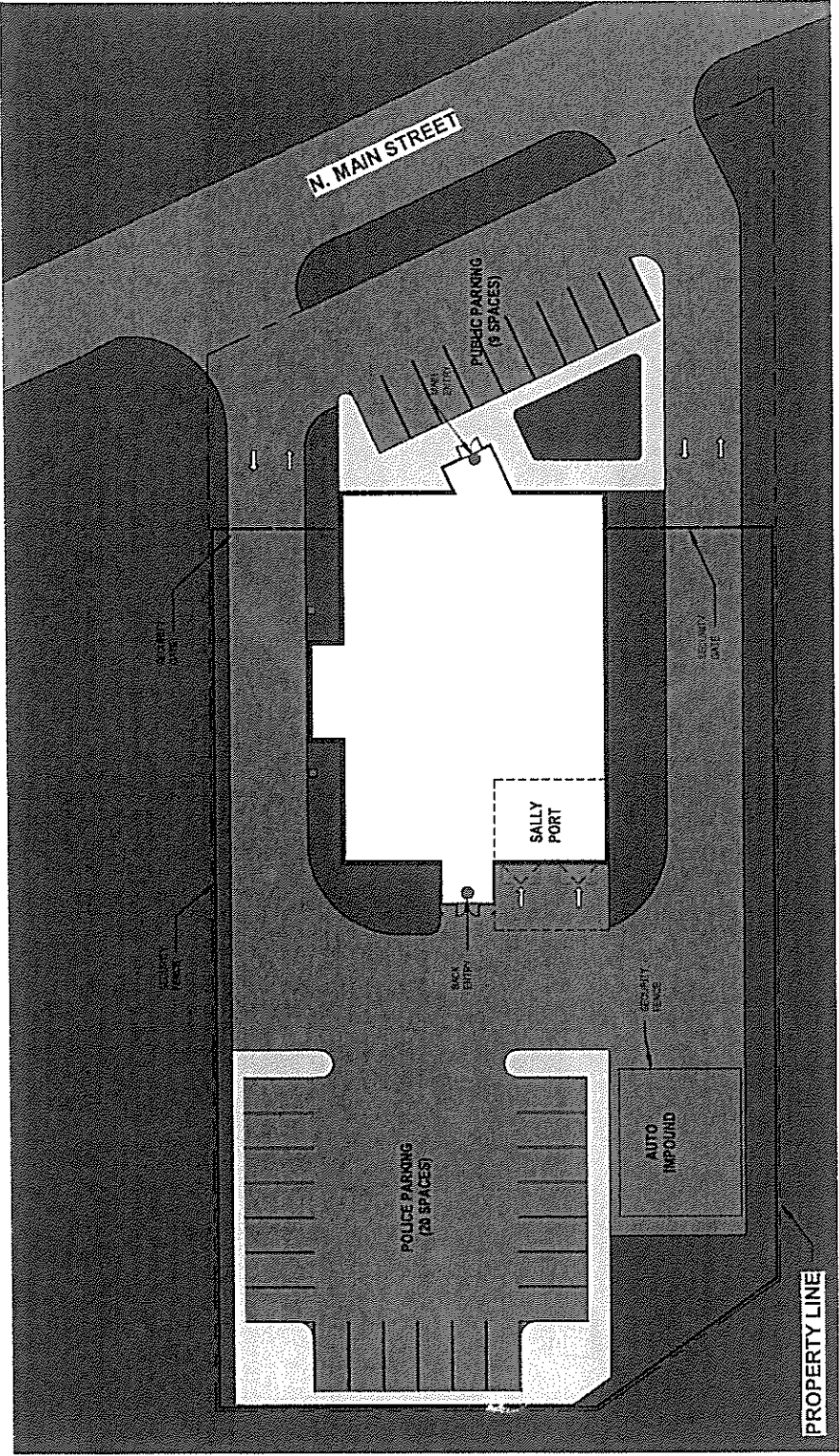
Space ID Name

## S-1 Facility Support

Program Area

LAVALLEE|BRENSINGER ARCHITECTS

Space Designation		Space Need			Notes
No.	Function	2020 (current need)	2025	2035	
S-1	Facility Support				
1-1.1	Trash/Recycling Storage	80	80	80	
1-1.2	Custodial Closet	60	60	60	
1-1.3	Mechanical Room	240	240	240	
1-1.4	Electrical Room	100	100	100	
1-1.5	Stair Towers @ 200 sf each	400	400	400	
1-1.6	Telephone	80	80	80	
1-1.7	IT Server Room	150	150	150	
1-1.8	IT Storage	50	50	50	
1-1.9	Telephone/Fiber Room	80	80	80	
1-1.10	IT/IDF Closets @ 32 sf each	32	32	32	
1-1.11	Elevator Machine Room	80	80	80	
1-1.12	Elevator	64	64	64	
SUBTOTAL		1,416	1,416	1,416	
Efficiency Factor 25%		354	354	354	
TOTAL		1,770	1,770	1,770	



NEW POLICE DEPT. SQUARE FOOTAGE

FIRST FLOOR -	07,300 GSF
SECOND FLOOR -	06,830 GSF
BUILDING TOTAL -	14,130 GSF

1	WATER TOWER SITE - TWO STORY SITE PLAN
PRES-8	1" = 30'-0"

TOWN OF WOLFEBORO, NH  
POLICE DEPARTMENT BUILDING STUDY

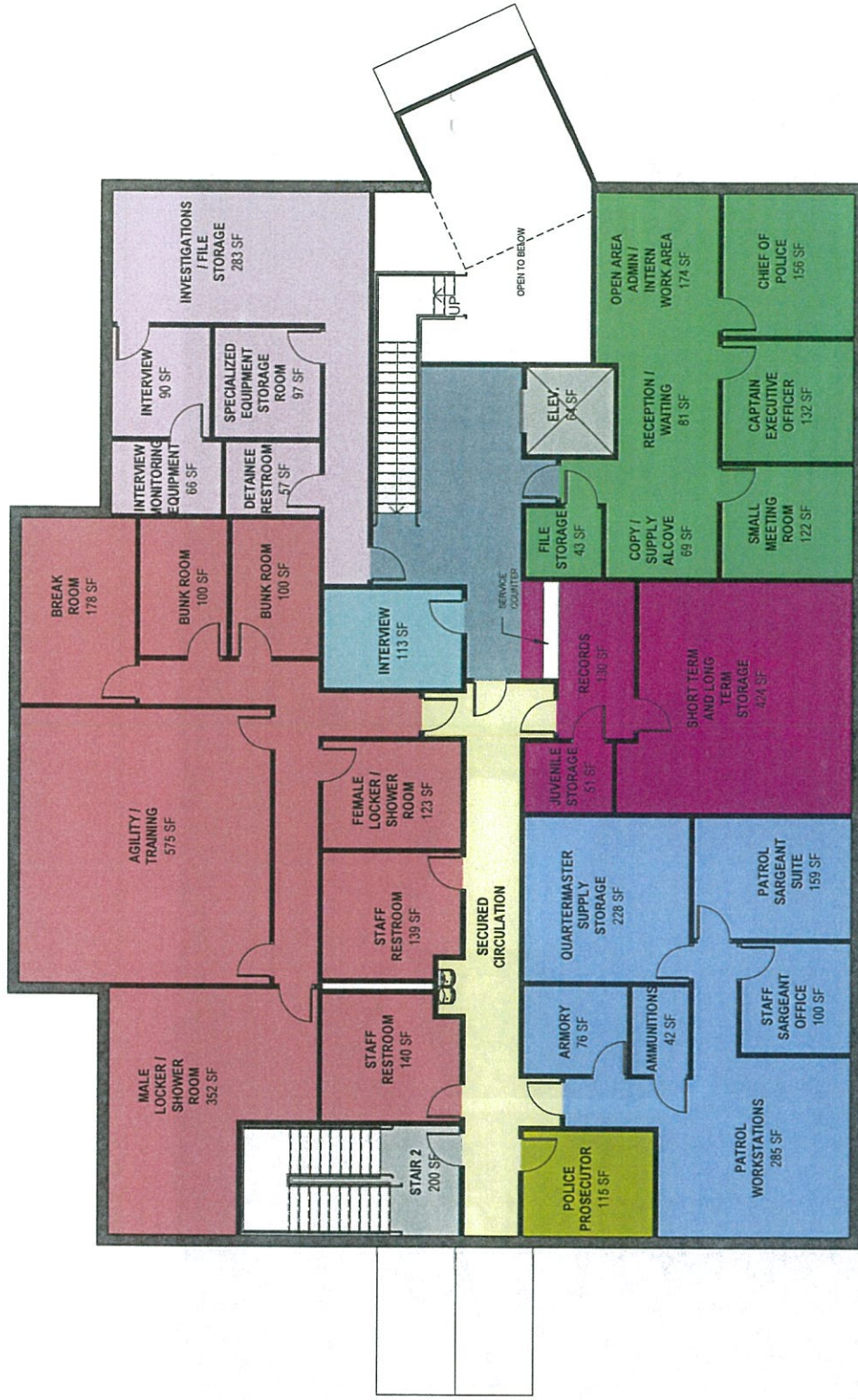
SCALE: 1" = 30'-0"  
N  
LAVALLÉE BRENSINGER ARCHITECTS  
04/26/21







- Administration
- Building Support
- Circulation
- Common Space
- Community Resources
- Departmental Support
- Investigation
- Patrol Operations
- Records
- Secure Circulation



1 LEVEL 2  
PRES-10 1" = 10'-0"

TOWN OF WOLFEBORO, NH

POLICE DEPARTMENT BUILDING STUDY

WATER TOWER SITE SECOND FLOOR

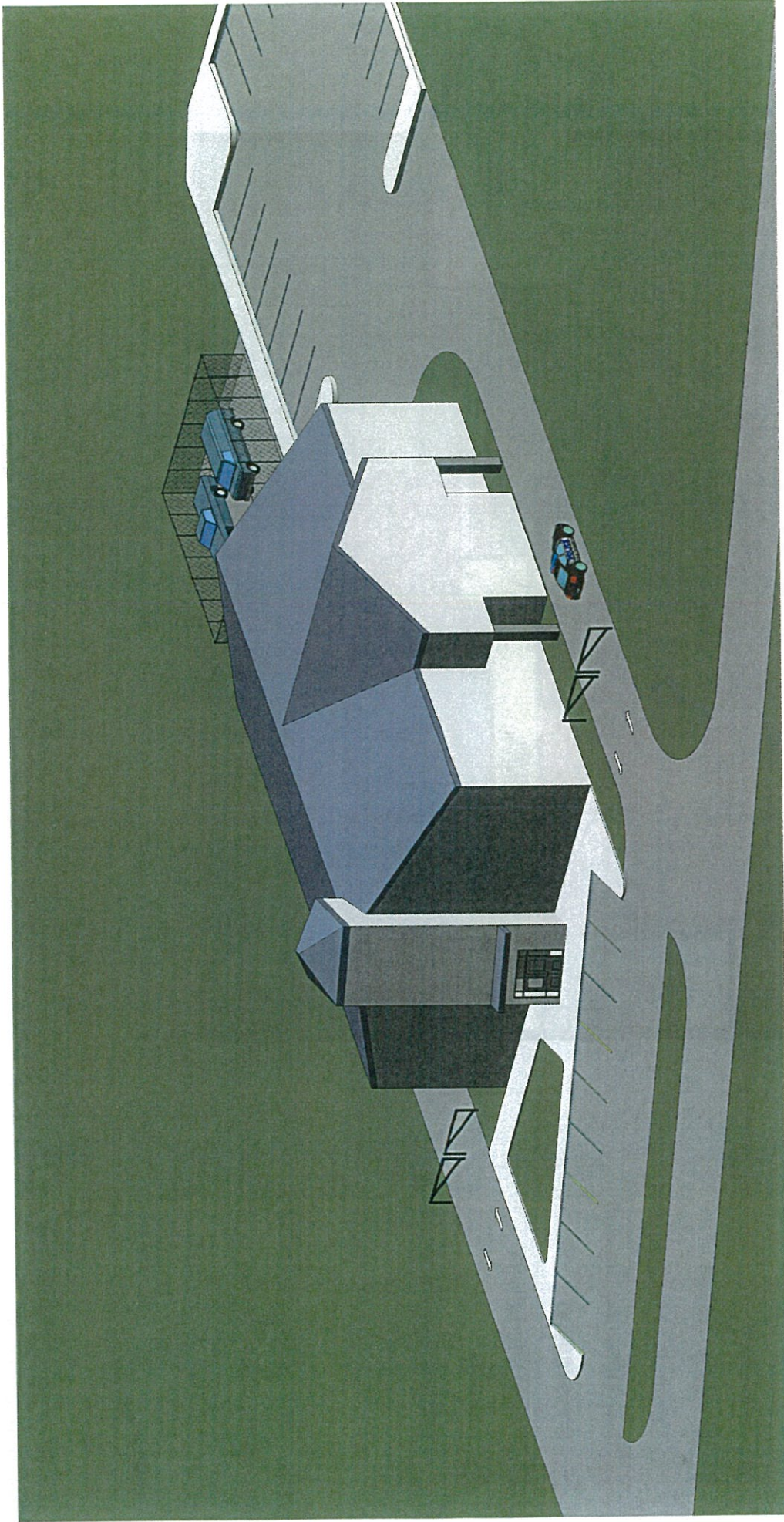
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04/26/21

LAVALLEE BRENSINGER ARCHITECTS





1 View 1

PRES-11

# TOWN OF WOLFEBORO, NH

POLICE DEPARTMENT BUILDING STUDY

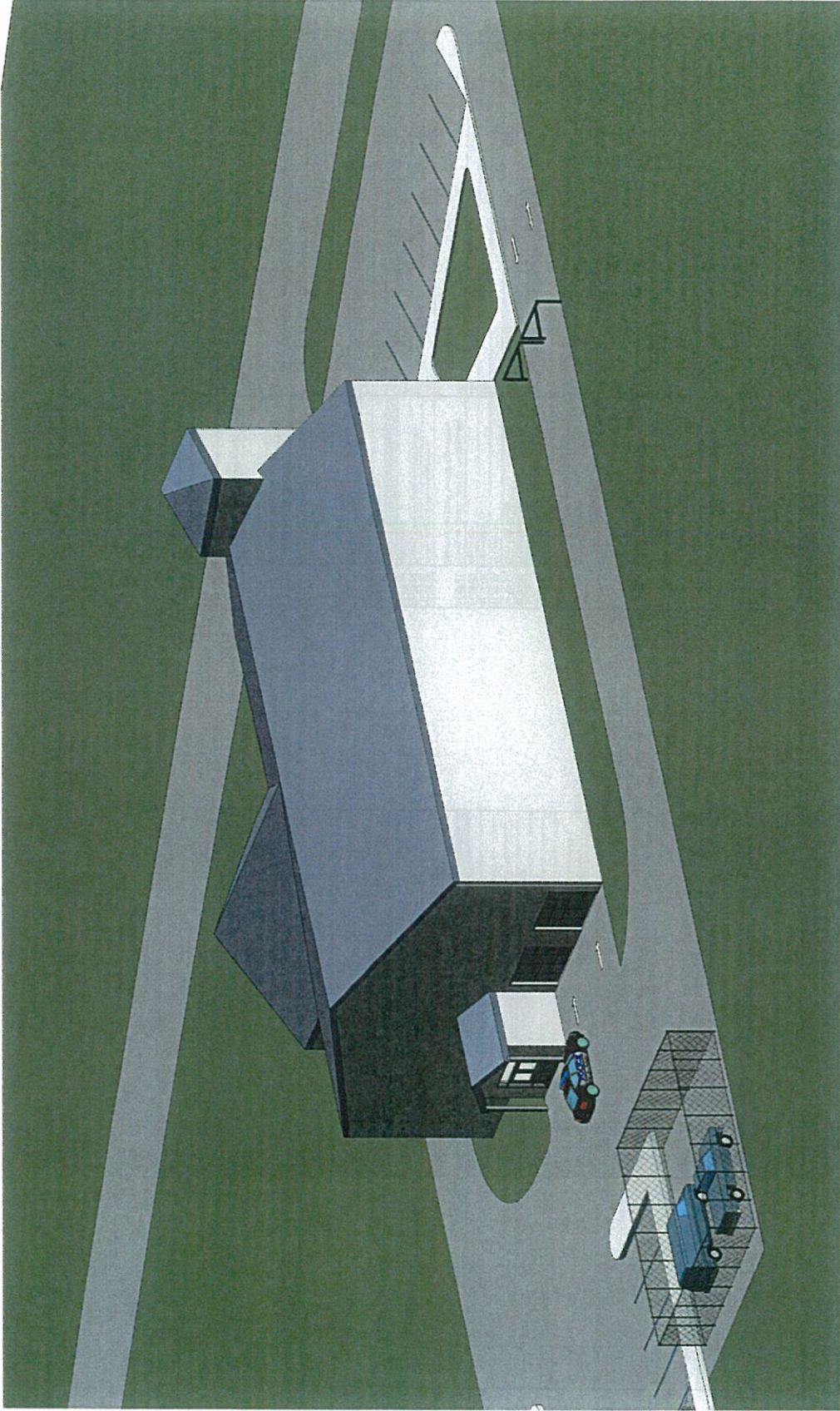
SCALE: 04/26/21



LAVALLÉE BRENSINGER ARCHITECTS

3D VIEWS





1 View 2

PRES-12

## TOWN OF WOLFEBORO, NH

POLICE DEPARTMENT BUILDING STUDY

3D VIEWS

04/26/21



SCALE:

LAVALLÉE | BRENSINGER ARCHITECTS













Basis of Design Summary	
Spec #	Comments
12.21.16	Division 13 - Furnishings
12.21.00	Vertical Lower Blinds
12.21.00	Window Roller Shade System
12.21.00	Wood Casework
12.21.00	Countertops
12.48.13	Entrance floor mats and frames
12.93.13	Bicycle rack
	Artwork
Division 13 -- Special Construction	
Division 14 -- Conveying Equip	
Division 14.01	Passenger Elevator
Division 22 -- Fire Suppression	
Division 22.01	Domestic Water Service
Division 22.02	Domestic Water Heating Systems
Division 22.03	Domestic Water Distribution Systems
Division 22.04	Domestic Water Drainage Systems
Division 22.05	Storm Water Drainage Systems
Division 22.06	Roof Drainage
Division 22.07	Canopy Drainage
Division 22.08	Special Drainage and Venting Systems
Division 22.09	Prepares or Natural Gas Systems
Division 22.10	Reverse-Osmosis (RO) Water Systems
Division 22.11	Pumbing Fixtures
Division 22.12	Handwashing Sinks (Staff Toilet - multi user)
Division 22.13	Handwashing Sinks (Public Toilet - single traps)
Division 22.14	Toilet (single occupancy)
Division 22.15	Toilet (multi-user occupancy)
Division 22.16	Single user occupancy
Division 22.17	Shower unit
Division 22.18	Urinal (single & multi-user occupancy)
Division 22.19	Urinal (single & multi-user occupancy)
Division 22.20	Eye wash station
Division 22.21	H/K mop sink
Division 22.22	Drinking fountain/ water bottle filler

Basis of Design Summary	
Spec #	Comments
Division 23 -- Heating, Ventilating, and Air Conditioning (HVAC)	
Division 23.01	Heating Systems
Division 23.02	Primary Heating Systems
Division 23.03	Perimeter Heat Preference
Division 23.04	Primary Cooling Systems
Division 23.05	Hydronic Distribution Systems
Division 23.06	Humidification Systems and Distribution
Division 23.07	Air Handling Systems
Division 23.08	Special Air Handling Systems
Division 23.09	General Exhaust Systems
Division 23.10	Air Distribution Systems
Division 23.11	Local Terminal Equipment and Systems
Division 23.12	Piping Materials
Division 23.13	Duct Materials
Division 23.14	Prepackaged Manufacturers
Division 23.15	Automatic Temperature Controls
Division 23.16	HVAC zoning
Division 24 -- Electrical	
Division 24.01	Electrical company / designation
Division 24.02	Normal Electrical Service
Division 24.03	Pad mount transformer (utility)
Division 24.04	Generator - Standby
Division 24.05	Electrical equipment
Division 24.06	Grounding
Division 24.07	Lighting Protection
Division 24.08	Wiring Methods
Division 24.09	Lighting and Controls
Division 24.10	Lighting
Division 24.11	Office
Division 24.12	Waiting / Public corridors
Division 24.13	Toilet rooms
Division 24.14	Building mounted
Division 24.15	Building mounted
Division 24.16	Photometric Controls
Division 24.17	Photometric Controls
Division 24.18	Photometric Controls
Division 24.19	Photometric Controls
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Division 24.96	Photometric Controls
Division 24.97	Photometric Controls
Division 24.98	Photometric Controls
Division 24.99	Photometric Controls
Division 25 -- Communications	
Division 25.01	Wireless network





Basis of Design Summary		
Item #	Topic	Comments
13 52 00	Underground Gas Utility	
14 40 00	Gas Storage Tank	
14 40 00	Transportation Signaling & Control Equip	N/A
	Site signage/wayfinding	OWNER FFE
	Public signage	OWNER FFE
	Transportation (light poles, pedestrian bollards)	OWNER FFE
	Emergency pull stations	OWNER FFE
	Security cameras	OWNER FFE
	Vehicular guidrails (material)	

Town of Wolfboro, New Hampshire  
New Police Department Facility  
Basis of Design Summary

Project Number: 17-083-00

## TOWN OF WOLFEBORO - NEW POLICE STATION

### Water Tower Site - 14,130 s.f.

May 26, 2021

<b>SITE DEVELOPMENT:</b>					
Mobilization, erosion control, clean-up		\$	905,000	\$	64.05 psf
Site demolition, erosion control, clean-up		\$	50,000	\$	3.54 psf
Excavation, backfill for structure, slab preparation, building gravels		\$	165,000	\$	11.68 psf
Site utilities and drainage		\$	100,000	\$	7.08 psf
Pavement, markings, curbing, signage, bollards		\$	225,000	\$	15.92 psf
Site fencing and gates		\$	205,000	\$	14.51 psf
Landscaping, benches, bike racks		\$	100,000	\$	7.08 psf
		\$	60,000	\$	4.25 psf
<b>BUILDING CONSTRUCTION:</b>					
Structure and foundation, including masonry walls	14,130 sf	\$	4,248,850	\$	300.70 psf
Thermal and moisture protection		\$	1,158,425	\$	81.98 psf
Doors and windows		\$	261,425	\$	18.50 psf
Finishes and millwork		\$	236,000	\$	16.70 psf
Specialties (i.e.) lockers, fire extinguishers, bathroom accessories, etc.		\$	550,000	\$	38.92 psf
Elevator		\$	60,000	\$	4.25 psf
Mechanical systems and fire protection		\$	88,000	\$	6.23 psf
Electrical and fire alarm		\$	990,000	\$	70.06 psf
CM general conditions and fee		\$	355,000	\$	25.12 psf
		\$	550,000	\$	38.92 psf
<b>HARD CONSTRUCTION COST SUBTOTAL:</b>		\$	5,153,850	\$	364.75 psf
<b>DESIGN AND CONSTRUCTION CONTINGENCY 10%:</b>		\$	515,385	\$	36.47 psf
<b>SOFT COSTS 16% OF HARD COSTS:</b>		\$	824,616	\$	58.36 psf
<b>A/E fees</b>					
Geotechnical engineering					
Planning and permitting fees (state)					
Legal, accounting, builders' risk insurance					
Third party testing					
Owner's project manager/clerk of the works					
Utility connection fees and backcharges					
Backup Generator					
Exterior signage					
Security, door access control, IT hardware					
Commercial laundry and kitchen equipment					
Furniture, office equipment, high density storage					
<b>TOTAL PROJECT HARD AND SOFT COSTS:</b>		\$	6,493,851	\$	459.58 psf

Project budget is based on anticipated construction costs for 3rd quarter - 2022  
Alternate price to change exterior from brick veneer to cement board siding - (\$ 200,000)

#### Exclusions:

Relocation of existing PD radio antenna and equipment  
Moving costs from the existing PD to the new facility



2021-22 BUDGET OVERVIEW  
MEETING AND TOWN MEETING SCHEDULE  
SEPTEMBER 22, 2021 - MARCH 8, 2022

THIS SCHEDULE WILL BE REVISED AS NECESSARY

August 27, 2021	<b>ALL BUDGETS TO BE RECEIVED BY TOWN MANAGER</b>
Aug. 30 – Sept. 15, 2021	Review of Departmental Budgets
Sept. 22 - Nov. 1, 2021	Board of Selectmen (BOS) to review Budgets
November 3, 2021	BOS Meeting
November 8, 2021	First day to accept petitions to amend zoning ordinance, historic district ordinance or building code for consideration at the 2021 town meeting. [RSA 675:4; 40:13, VII]
Nov. 9- Dec. 16, 2021	Budget Committee to review 2022 Budget
November 11, 2021	Veteran's Day
November 13, 2019	Submit Budget to Budget Committee
November 17, 2021	BOS Meeting
November 17-19, 2021	NHMA Annual Conference
November 25 & 26, 2021	Thanksgiving Holiday
December 1, 2021	BOS Meeting
December 8, 2021	Last day to accept petitions to amend zoning ordinance, historic district ordinance or building code for consideration at March 2007 Town Meeting.
December 18, 2021	BOS Meeting
December 24 & 25, 2019	Christmas Holiday TBS
January 1, 2022	New Year's Day Holiday
January 1, 2021	First deadline to post notice of bond hearing.
January 5, 2022	BOS Meeting

January 9, 2020	Last day for selectmen to publish notice of time, place and subject of public hearing on bond issue over \$100,000, 33:8-a,I, 40:13 II-a.
January 9, 2020	Final day for posting notice of budget public hearing, 40:13 II-a.
January 11, 2022	Budget Submission Date (defined 273-A: 1) 40:13 II (b)
January 11, 2022	Last day to submit petitioned warrant articles, 40:13 II (b).
January 17, 2022	Martin Luther King Day
January 18, 2022	Last day to hold at least one public hearing on annual budget (can hold additional public hearing earlier or later with seven day notice, should schedule at least one public hearing to include any petitioned warrant articles), 40:13 II(c).
January 18, 2022	Last day to hold public hearing on bond or note issue over \$100,000, 33:8-a,I.
January 17, 2020	Last day for Budget Committee to submit 2 copies of annual budget to selectmen, RSA 32:16 IV
January 19, 2022	BOS Meeting
January 31, 2022	Last day for selectmen to post warrant and budget for first session, 40:13 II (d).
February 2, 2022	BOS Meeting
February 8, 2022	First Session - Transaction of all business other than voting by official ballot, 40:13 III.
February 10, 2022	Snow Date- First Session - Transaction of all business other than voting by official ballot, 40:13 III.
February 16, 2022	BOS Meeting
February 21, 2022	Presidents Day
March 1, 2022	Town Report due to be distributed to voters
March 2, 2022	BOS Meeting
March 8, 2022	Second Session - To elect officers, vote on warrant articles, etc. by official ballot, 40:13 VII.

**Potential save the dates for BOS Budget review:**

September 22, 2021	Wen	Agency Discussion (due 9/3)
October 6, 2021		Regular Board Meeting
October 7, 2021	Thurs	6:00 PM Budget-
October 11-Columbus Day		
October 12, 2021	Tuesday	6:00 PM Budget
October 14, 2021	Thurs	6:00 PM Budget
October 18, 2021	Monday	6:00 PM Budget
October 20, 2021		Regular Board Meeting
October 25, 2021	Monday	6:00 PM Budget-
October 27, 2021	Wen	6:00 PM Budget-
October 28, 2021	Thurs	6:00 PM Budget-